

# ATTACHMENTS TO REPORTS OF THE BLAYNEY SHIRE COUNCIL MEETING HELD ON WEDNESDAY 18 DECEMBER 2024

# PLANNING AND ENVIRONMENTAL SERVICES REPORTS

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## 1. APPLICATION DETAILS SUMMARY

Development Application No.	DA 55/2023
Description of Development	Hotel or motel accommodation, signage and change of use (and as detailed in this report)
Applicant	Rovest Holdings Pty Ltd
Landowner	Rovest Holdings Pty Ltd
Landowner's consent provided	Yes
Local Government Authority	Blayney Shire Council
Determining Authority	Blayney Shire Council
Legel Description	

Legal Description	Lot 1 DP 162646, Lot 8 DP 505215, Lot 20 DP 569741, Lots 11, 12, 13, 14, Section 13 DP 758121, Lot 10 DP 1114679 and Lot 1 DP 718479
Property Address	62 Osman Street and 37 Water Street, Blayney
Land Area	Approximately 12,607m <sup>2</sup> (including Lot 1 DP 718479)
Existing Improvements	Former Blayney Bowling Club building, accommodation buildings, pylon sign, carpark and landscaping (and as detailed in this report)
Current Land-use	Hotel / Motel

# 2. EXECUTIVE SUMMARY

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Development Consent No. DA 4/2021 was granted by Blayney Shire Council (**Council**) to Rovest Holdings Pty Ltd on 10 August 2021 for a hotel / motel, signage and subdivision of land on Lot 1 DP 162646, Lot 8 DP 505215, Lot 20 DP 569741, Lots 11-14, Section 13 DP 758121 and Lot 10 DP 1114679. The proposed development involved the following:

- Completion and use of alterations and additions to the former bowling club building to provide a reception area, communal kitchen and laundry, storage rooms and male and female amenities, together with the ongoing use of this area in relation to the proposed motel use of the site.
- Completion and use of the 26 motel accommodation buildings, including completion of necessary works to provide a total of 102 motel rooms (92 single rooms (existing onsite), 4 double rooms (existing onsite) and 6 disabled accessible rooms (to be completed)).
- Completion and use of an at-grade carpark for 81 spaces, including seven (7) disabled accessible spaces, with connection to the public road network via the Church Street entrance.
- Completion and use of necessary utility infrastructure and services, including sewerage, water and electricity supply connections.
- Completion of boundary fencing, garbage bin enclosures, lighting and landscaping.
- Installation of a 1m x 1m illuminated sign along the Church Street frontage to advertise the motel, utilising an existing pylon associated with the former bowling club use.
- Installation of an underground pipeline and easement on Lot 1 DP 718479 to drain stormwater from the development to the Water Street drainage system.

On 2 November 2021, Mr Peter Ogilvie commenced Class 4 proceedings in the NSW Land and Environment Court (**Court**), challenging the validity of Council's approval under Development Consent No. 4/2021.

On 16 March 2023, Development Consent No. DA 4/2021 was declared invalid by the Court (see Ogilvie v Rovest Holdings Pty Ltd (2023) NSWLEC 17). The Court reasons included:

- 1. Council failed to characterise the modular units correctly as buildings, with the consequence that consent ought to have been sought for the installation of the units under the *Environmental Planning and Assessment Act* 1979 (EPA Act), and not the *Local Government Act* 1993 (LG Act).
- 2. Council failed to consider all relevant mandatory matters required by Clause 6.2 of the Blayney Local Environmental Plan 2012 (**BLEP**).

On 28 June 2023, a hearing was held in Court: Ogilvie v Rovest Holdings Pty Ltd (No 2) (2023) NSWLEC67 to address matters related to the Court's discretion to make orders (as a consequence of the finding of invalidity) and costs. At this hearing it was noted that substantial works had already been carried out at the development site in accordance with Development Consent No. DA 4/2021, with the following being noted:

- August and September 2022 preparatory works carried out to install the lead-in services at the site, pour the foundations and construct the footings for the modular buildings.
- October 2022 delivery of 23 modular units to site and craned onto footings.
- November 2022 -construction of concrete verandah slabs.
- December 2022 connection of modular buildings to utility services (electricity, water supply, sewerage and stormwater) and initial site landscaping.
- January and February 2023 form car parks (including laying of utility services underneath car park), delivery of two (2) modular units and verandas as well as the upgrading of power, including two power poles and new substation.
- March 2023 pouring of concrete slab for east part of car park and completion of landscaping.

On 1 May 2023 Rovest Holdings Pty Ltd lodged a new Development Application with Council for hotel or motel accommodation, signage and change of use on Lot 1 DP 162646, Lot 8 DP 505215, Lot 20 DP 569741, Lots 11-14, Section 13 DP 758121 and Lot 10 DP 1114679. Lot 1 DP 718479 also formed part of the new Development Application as it proposed an underground pipe and easement to drain stormwater from the development site to Water Street.

On 28 June 2023, the Court made the following orders:

(1) The Court declares that the development consent granted by the Second Respondent to the First Respondent on 10 August 2021 ("Development Consent"), in respect of Development Application No. DA4/2020 ("Development Application") on the site is invalid and of no effect;

(2) The Court orders that:

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- a) The First Respondent (Rovest Holdings Pty Ltd), by itself and by its employees, servants and agents, is restrained from carrying out any works under or in accordance with the Development Consent.
- b) Any works carried out purportedly in reliance on the Development Consent are to be demolished and removed from the site within six (6) months from the date of these orders.
- c) Order (2)(b) is suspended until the Second Respondent (Blayney Shire Council) has determined the applications made as noted above.

- d) If the Second Respondent determines to issue a Building Information Certificate for the structures erected on, and other associated works undertaken at, the site and grants development consent to use the structures erected on, and other associated works undertaken at the site for the purposes of a motel or grants development consent for the purposes of some other permissible use, order (2)(b) is discharged.
- e) Liberty to apply in the event that:

(i) The Second Respondent refuses the application for a Building Information Certificate concerning the structures erected on, and other associated works undertaken at, the site and/or development consent to use the structures erected on, and other associated works undertaken at, the site for the purposes of a motel or other permissible use and the First Respondent commences proceedings in the Court to appeal against any such refusal; or

(ii) The Second Respondent grants a Building Information Certificate concerning the structures erected on, and other associated works undertaken at, the site subject to conditions and/or development consent to use the structures erected on, and other associated works undertaken at, the site for the purposes of a motel or other permissible use subject to conditions and the First Respondent commences proceedings in the Court to appeal against any such condition.

- f) Liberty to apply for any extension of time to comply with order (2)(b), or to vary order (2)(b) in light of any merit findings made as a consequence of the Second Respondent's determination of the Building Information Certificate and/or development applications made by the First Respondent to the Second Respondent and/or any appeal from such determinations.
- g) The exhibits are returned:

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- h) except as provided in order (2)(i) below, the First and Second Respondents are jointly liable to pay the Applicant's costs as agreed or assessed; and
- i) costs incurred by the Applicant on and from 7 June 2023 are to be paid by the First Respondent on an as agreed or assessed basis.

In response to the Court orders, Council commenced the processing of the new development application lodged by Rovest Holdings Pty Ltd on 1 May 2023, which has been given Council's unique number DA 55/2023.

It is clear from a review of DA 55/2023 that consent is sought from Council for hotel / motel accommodation, signage and change of use. Importantly, the modular buildings have been properly described in DA 55/2023 as Class 3 buildings under the Building Code of Australia (**BCA**), requiring consent from Council for completion / continued use on the site. The DA 55/2023 documentation also provides further details on stormwater management in and around the development site to allow Council to make a full and proper assessment of Clause 6.2 of the BLEP.

DA 55/2023 has been accompanied by a number of plans, drawings and reports, as follows:

- Benefit Cost Analysis of Motel, prepared by Western Research Institute, dated 16 December 2020.
- Heritage Impact Statement, prepared by Kate Higgins, dated 30 May 2021.
- Development Application Noise Assessment, prepared by Blackett Acoustics Version A, dated September 2021.
- Stormwater Management Report, prepared by Barker Ryan Stewart Revision 2, dated 09 December 2021.
- Detailed Civil Engineering Design, prepared by Barker Ryan Stewart Revision 3, dated 14 December 2021.

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- Sewer Capacity Assessment Report, prepared by Barker Ryan Stewart Revision 2, dated 15 December 2021.
- Certificate of Structural Sufficiency, prepared by Desing Construction Industries, dates 21 December 2022.
- Landscape Plan, prepared by Premise Revision E, dated 015July 2024.
- Development Applications Drawings, prepared by Premise Rev E, dated 15 July 2024.
- Statement of Environmental Effects, prepared by Premise Rev:004B, dated 27 June 2023.
- Traffic Study, prepared by Premise Rev 002B, dated 27 June 2023.
- Plan of Management, prepared by Premise Rev 001H, dated 27 June 2023.
- Fire Safety Strategy Report, prepared by Credwell, dated 8 August 2023.
- Transportable Building Certification, prepared by Calare Civil, dated 1 September 2023.
- Blayney Worker Accommodation DnT,W measurement Report, prepared by Acoustik, dated 4 October 2023.
- Section J Report, prepared by Credwell Consulting, dated 6 October 2023.
- BCA Assessment Report, prepared by Credwell Consulting, dated 18 October 2023.
- Fire Engineering Report, prepared by Performance Based Consulting Rev F, dated 5 August 2024.
- Development Application Statement, prepared by Architecture & Access, dated 26 July 2024.

All relevant documents are shown in Attachment A to this assessment report.

The processing of DA 55/2023 has involved notification and advertising of the proposed development from 9 November 2023 to 23 November 2023 in accordance with the Blayney Community Participation Plan 2020.

This report records the main findings of the assessment of DA 55/2023 in accordance with the relevant matters for consideration under Section 4.15 of the EPA Act. A summary of the main assessment findings of this report are provided below:

- The scope of the proposed development is clearly articulated in the DA 55/2023 documentation, including a breakdown of the main aspects of the development as follows:
  - Completion of site preparation works, including the installation / upgrade of utility services.
  - Completion and use of 26 modular buildings comprising a total of 102 rooms.
  - Completion and use of an 81-space car park, with access via an existing driveway from Church Street.
  - Completion of alterations and additions to a portion of the former Blayney Bowling Club building for use as a motel reception area, an on-site laundry, kitchen, amenity areas and a site office.
  - Completion of boundary fencing and landscaping, lighting and garbage bin enclosures.
  - Completion of utility services and installations.
  - Installation of an illuminated sign on an existing pylon along the Church Street frontage to advertise motel accommodation.
  - Installation of an underground pipeline and easement over Lot 1 DP 718479 to drain stormwater from the development to the Water Street drainage system.
- The submitted plans, drawings and reports that have been prepared by the various consultants in support of the proposed development contain sufficient information to allow Blayney Shire Council to make an informed decision on the proposal.

- Notification and advertising of the proposed development has been completed in accordance with the requirements of the Blayney Community Participation Plan 2020. Council received a total of five (5) submissions from members of the public, some of which are objections to the proposal, and others in support of the proposal. An assessment of the issues raised in the submissions has been completed in Table 5 of this report, with copies of each submission shown in Attachment B to this assessment report.
- The proposed development is consistent with all relevant environmental planning instruments applying to the site / development, including the BLEP and Blayney Development Control Plan 2018 (BDCP).
- Assessment of the proposed development, including all finalised plans, drawings and reports, submissions received, and referral advice from Council planning and engineering staff and heritage advisor concludes the proposal is unlikely to pose unacceptable impacts on the environment and has merit for approval, subject to conditions.
- Draft conditions of consent have been included in the recommendation to this report to address all aspects of the proposed development, including compliance with the approved plans, drawings and reports relating to building code compliance, stormwater, land consolidation and easements, traffic, access and parking, servicing and infrastructure, heritage, outdoor advertising, lighting, landscaping, preservation of natural environment elements and community contributions.

It is the recommendation of this Section 4.15 Assessment Report that DA 55/2023 be approved with conditions addressing issues raised in the report.

# 3. SITE AND LOCALITY DESCRIPTION

#### 3.1. Land Title Description

The proposed development relates to the following land titles:

- Lot 1 DP 162646, Lot 8 DP 505215, Lot 20 DP 569741, Lots 11, 12, 13, 14, Section 13 DP 758121, Lot 10 DP 1114679, 62 Osman Street.
- Lot 1 DP 718479, 37 Water Street.

Section 3.1 of the Statement of Environmental Effects prepared by Premise dated 27 June 2023 (**Premise SEE 2023**) highlights Lot 1 DP 718479 has been included in DA 55/2023 as a stormwater pipeline and easement is proposed to be located on the site to drain water from the proposed development to the Water Street stormwater drainage system. It is noted from the site plan in Figure 1 of the Premise SEE 2023 that Lot 1 DP 718479 is an adjacent lot located to the south of the proposed development with an existing dwelling and sheds, which is also owned by Rovest Holdings Pty Ltd.

Section 3.1 of the Premise SEE 2023 advises subdivision / consolidation is not part of the DA process. The existing eight (8) allotments are required to be consolidated together into a single allotment via approvals granted by Council for DA 6/2022 and DA 99/2022. A condition of consent is recommended to ensure the consolidation is undertaken prior to the occupation of the buildings.

Any reference to 'the site' hereafter in this report, is a reference to the above land titles.

#### 3.2. General Site Description

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The site is in an established urban area in the Blayney Township with frontage to Church Street (north), Water Street (south) and Osman Street (west). The site has predominant building frontage to Osman Street, with only pedestrian access available from this street. Vehicular access to the site is gained via an existing driveway to Church Street, with pedestrian access also available from this street.

The site is characterised by the former Blayney Bowling Club use, with a two-storey clubhouse building located towards the centre of the site, and well setback from Osman Street and Church Street. The

majority of internal spaces of the clubhouse building have been demolished and / or are partly refurbished pending finalisation of relevant approvals from Blayney Shire Council for intended future use in connection with the proposed motel.

The bowling greens (originally located between the clubhouse building and Osman Street) have been removed and the site is partly completed with modular motel buildings, car parking areas and driveways and landscaping.

A number of large established trees are present in the eastern part of the site.

#### 3.3. Description of Existing Buildings and Site Improvements

The site is currently under construction for the purposes associated with the motel development approved by Council under DA 4/2021, DA 6/2022 and DA 99/2022. It understood that all physical works in connection with DA 4/2021 have ceased at the site, pending the determination of DA 55/2023 (this DA). A summary of the works that have already been completed at the site at the time of writing of this report is as follows:

- Sewer, water and electrical services installed on the site to serve the motel use, as per BRS Drawing 210531-01-021 and the BRS Sewer Report.
- Bulk earthworks completed at the site to facilitate the development together with the installed stormwater management measures (detention and underground pipework), as per BRS Drawings 011, 021, 701, 702, 703, 801 and 811.
- Concreted car parking areas and driveway access connecting the site to Church Street, as per BRS Drawing 711 and 801.
- Fit out of a portion of the ground floor of the former Blayney Bowling Club building to provide a motel reception, amenities and staff areas, as per Premise Drawing A011 and A012.
- Structural footings constructed to accommodate a total of 26 modular accommodation buildings, as per Premise Drawing A004.
- 25 modular accommodation buildings installed atop structural footings, as per Premise Drawing A004.

#### 3.4. Surrounding Land-use

The site is surrounded by a mix of residential, commercial and community uses. The land to the north and south is generally used for residential purposes. The land to the east is generally used for commercial / community facility purposes, forming part of the Blayney Central Business District. Land to the west (on the opposite side of Osman Street) accommodates the Blayney High School.

# 4. SITE HISTORY AND CONTEXT

#### 4.1. Site History

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The following site history is established having regard to the information submitted in support of DA 55/2023 and a review of relevant property records held by Council:

- The site comprises of one allotment, Lot 1 DP 162646, Lot 8 DP 505215, Lot 20 DP 569741, Lots 11, 12, 13, 14, Section 13 DP 758121, Lot 10 DP 1114679, occupied by the former Blayney Bowling Club and a dwelling on Lot 1 DP 718479. The Blayney Bowling Club comprised a main clubhouse building, bowling greens and associated parking areas. The use of the land for purposes associated with the Blayney Bowling Club ceased in 2019.
- DA4/2021 was approved by Council on 10 August 2021 for hotel / motel accommodation, signage and subdivision of land. Two modifications of Development Consent No. DA 4/2021 were granted

by Blayney Shire Council. Modification No. 1 provided for the deletion of the subdivision component and Modification No. 2 provided for amendments to condition No. 102. A Construction Certificate No. DA4/2021/2 was issued by Blayney Shire Council on 27 May 2022 for the works to the main building and addressing installation of services approved under Development Consent No. DA 4/2021.

- DA 6/2022 was approved by Council on 2 September 2022, which enabled erection of motel building and business signage in the western portion of the site accommodating 20 motel rooms and 26 on-site car parking spaces.
- DA 99/2022 was approved by Council on 12 December 2022 for alterations and additions to the former Blayney Bowling Club for use as a restaurant, bar, lounge and guest recreation area ancillary to the Blayney Motel.
- On 16 March 2023, Development Consent No. DA 4/2021 was declared to be invalid by the Court as a result of Class 4 proceedings, as recorded in Ogilvie v Rovest Holdings Pty Ltd (2023) NSWLEC 17. The court provided two reasons for their decision, as summarised below:
  - 1. Council failed to characterise the modular units correctly as buildings, with the consequence that consent ought to have been sought for the installation of the units under the Environmental Planning and Assessment Act 1979, and not the Local Government Act 1993.
  - 2. Council failed to consider all relevant mandatory matters required by Clause 6.2 of the BLEP.
- On 28 June 2023, the Court made orders in relation to Ogilvie v Rovest Holdings Pty Ltd (2023) NSWLEC 17 and Ogilvie v Rovest Holdings Pty Ltd (No 2) (2023) NSWLEC 67. The effect of these orders was to restrain further development at the site until Council was given opportunity to determine whether a Building Information Certificate and Development Consent could be granted for the existing / proposed works at the site, or whether works commenced under Development Consent No. DA 4/2021 are to be demolished and removed from the site.
- It is understood that from the date that orders were issued by the Court (28 June 2023), all construction work associated with Development Consent No. DA 4/2021 have ceased.
- On 1 May 2023, DA 55/2023 was lodged with Council seeking development consent for the hotel / motel accommodation, signage and change of use. DA 55/2023 has been processed to a point where assessment of the proposal against Section 4.15 Assessment Report can be completed and a determination made on the proposal.
- On the 7 June 2024, BIC 17086 was lodged with Council under Section 6.7 of the EPA Act seeking a Building Information Certificate (BIC) to regularise the installation of modular accommodation buildings providing 96 motel rooms, including provision of a reception, laundry, kitchen, amenities and office within the existing bowling club building, construction and associated works including signage, parking and essential services connections.

# 5. DESCRIPTION OF PROPOSED DEVELOPMENT

The proposed development is for the change of use from a bowling club to hotel / motel accommodation, including the provision of a reception, laundry, kitchen, amenities and office within the existing bowling club building, construction of six (6) accessible rooms and use of modular accommodation buildings providing 102 motel rooms, demolition of structures within the site and associated works including signage, parking and essential services connections.

The proposal seeks consent for the following specific matters:

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 Completion and use of alterations and additions to the former bowling club building to provide a reception area, communal kitchen and laundry, storage rooms and male and female amenities, together with the ongoing use of this area in relation to the proposed motel use of the site.

- Completion and use of the 26 motel accommodation buildings, including completion of necessary works to provide a total of 102 motel rooms (92 single rooms (existing onsite), 4 double rooms (existing onsite) and 6 disabled accessible rooms (to be completed)).
- Completion and use of an at-grade carpark for 81 spaces, including seven (7) disabled accessible spaces, with connection to the public road network via the Church Street entrance.
- Completion and use of necessary utility infrastructure and services, including sewerage, water and electricity supply connections.
- Completion of boundary fencing, garbage bin enclosures, lighting and landscaping.
- Installation of a 1m x 1m illuminated sign along the Church Street frontage to advertise the motel, utilising an existing pylon associated with the former bowling club use.
- Installation of an underground pipeline and easement on Lot 1 DP 718479 to drain stormwater from the development to the Water Street drainage system.

According to Section 3.1 of the Premise SEE 2023, the site will operate as a conventional motel, including taking bookings from the public via online booking systems.

The proposed development under DA 55/2023 also relies on development works approved under DA 6/2022 and DA 99/2022, including:

- Vehicle and pedestrian access.
- On-site car parking.
- Landscaping.

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- Stormwater management works.
- Shared bin storage.
- Loading and unloading areas.

### 6. DEVELOPMENT ASSESSMENT FRAMEWORK

The proposal is assessed to be local development, as it does not trigger any of the provisions listed below:

- The proposal is not 'designated development' pursuant to Part 1 of Schedule 3 of the Environmental Planning and Assessment Regulation 2021 (Regulation) and an Environmental Impact Statement is not required.
- The proposal does not trigger 'State significant development' or 'regionally significant development' as it is not designated development and is not general development with a capital value greater than \$30 million, pursuant to State Environmental Planning Policy (Planning Systems) 2021.
- The proposal does not trigger 'integrated development' because it does not require any other approval listed under Section 4.46 of the EPA Act.

DA 55/2023 has been publicly notified in accordance with the Blayney Shire Council Community Participation Plan 2020. Council received a total of five (5) submissions from members of the public, some of which are objections to the proposal and others in support of the proposal. An assessment of the issues raised in the submissions has been completed and detailed in Table 5 to this assessment report.

Referral of the development proposal to Transport for NSW (TfNSW) and Essential Energy has occurred having regard to the provisions of State Environmental Planning Policy (Transport and Infrastructure) 2021.

The Applicant has submitted a BIC to seek to regularise the installation of the modular accommodation buildings providing 96 motel rooms, including provision of a reception, laundry, kitchen, amenities and

office within the existing bowling club building, construction and associated works including signage, parking and essential services connections (i.e. existing works).

The proposal will also require the lodgement of a plumbing and drainage approval under Section 68 of the LG Act relating to proposed new works.

# 7. ENVIRONMENTAL PLANNING ASSESSMENT

The assessment of the proposed development has followed Council's Generic Development Assessment Template that has been informed by the matters for consideration under Section 4.15 of the EPA Act. The assessment template provides a pathway for Council or its delegated staff to assess applications in a consistent and transparent manner, including decisions on the following key assessment criteria:

- Adequacy of the information provided in the Development Application (DA), and whether there is sufficient information available for Council and other parties to understand the proposal and its site context.
- Findings of the review of spatial information, site inspections, reports, and other data in relation to the site and surrounding land.
- Evidence, advice and commentary from other government authorities, service agencies and Council internal staff on their assessment / advice in relation to the proposal.
- Submissions received from members of the public as a result of any notification / advertising of the proposal.
- Assessment of the relevant matters for consideration under Section 4.15 of the EPA Act.
- Details of any conditions recommended to be imposed on the consent and their reasons for imposition.
- Recommendations for the determination of the DA, based on the above.

The following matters for consideration have been highlighted to record the main assessment findings.

#### 7.1. Section 4.15 Evaluation

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Section 4.15 of the EPA Act provides the matters for consideration in the assessment of development proposals requiring consent. A consent authority must have regard to these provisions when determining whether or not to grant consent to a proposal. An assessment of Section 4.15 of the EPA Act is documented in the following sections:

#### 7.2. Section 4.15(1)(a)(i) The Provisions of any Environmental Planning Instrument

#### **Blayney Local Environmental Plan 2012**

The BLEP applies to all land within the Blayney Local Government Area **(LGA).** An important function of the BLEP is to define outline the development which it is permissible (with or without consent) or prohibited within the applicable zone.

As per the BLEP zoning map, the site is zoned as follows:

- E1 Local Centre Zone Lot 1 DP 162646, Lot 8 DP 505215, Lot 20 DP 569741, Lots 11, 12, 13, 14, Section 13 DP 758121, Lot 10 DP 1114679 and Lot 1 DP 718479.
- R1 General Residential Zone Lot 1 DP 718479.

The site comprising the proposed motel development is located wholly on the land zoned E1 Local Centre. Hotel or motel accommodation is a permissible land use with consent in the E1 and R1 zone.

Lot 1 DP 718479 has an existing dwelling and sheds and is proposed to include a drainage pipeline and easement servicing the motel, which is permitted on land zoned R1 General Residential.

The following special provisions of the BLEP have been considered as part of the assessment of the proposed development. An assessment of the relevant special provision requirements of the BLEP has been carried out as follows:

#### Clause 1.9A Suspension of Covenants, Agreements and Instruments

Clause 1.9A provides that covenants, agreements and other instruments which seek to restrict the carrying out of development do not apply with the following exceptions:

- A covenant imposed by the Council or that the Council requires to be imposed, or
- Any prescribed instrument within the meaning of section 183A of the Crown Lands Act 1989, or
- Any conservation agreement within the meaning of the National Parks and Wildlife Act 1974, or
- Any Trust agreement within the meaning of the Nature Conservation Trust Act 2001, or
- Any property vegetation plan within the meaning of the Native Vegetation Act 2003, or
- Any biobanking agreement within the meaning of Part 7A of the Threatened Species Conservation Act 1995, or
- Any planning agreement within the meaning of Division 6 of Part 4 of the Act.

Section 3.3 of the Premise SEE 2023 states 'an existing right of way exists in favour of Lot 21 DP 569741 and this would be maintained.' This is now known as Lot 13 Section 13 DP 758121 and includes the registered easement.

Section 2.2 of the Premise SEE 2023 dealing with the site, states 'Lot 1 DP 718479 is an adjacent lot located to the south of the development site which is in the same ownership as the development site and is included within this DA. The project would impact this adjacent lot with a requirement to discharge site stormwater via a proposed pipeline that extends through this lot.'

Further review of the available Council file history confirms that the site is affected by two easements, both rights of carriageway, benefiting Lot 6 DP 653720 and Lot 21 DP 569741. An existing informal access arrangement is also known to have existed in favour of the owner of Lot 79 DP 1137273.

#### Clause 2.3 Zone Objectives and Land Use Table

Clause 2.3(3) of the BLEP 2012 requires Council, as consent authority, to have regard to the relevant zone objectives when determining a DA for development on land within the zone. The objectives for the E1 Local Centre zone are repeated in full as follows:

- To provide a range of retail, business, entertainment and community uses that serve the needs of people who live in, work in and visit the local area.
- To encourage employment opportunities in accessible locations.
- To maximise public transport patronage and encourage walking and cycling.
- To preserve Adelaide Street as the retail and commercial centre of the Town of Blayney to support the needs of Blayney.

The objectives for the R1 General Residential zone are repeated in full as follows:

- To provide for the housing needs of the community.

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- To provide for a variety of housing types and densities.
- To enable other land uses that provide facilities or services to meet the day-to-day needs of residents.

Figure 3 of the Premise SEE 2023 dealing with Land Zoning identifies the site in red outline and shows land zoned E1 Local Centre and R1 General Residential.

Section 4.2.1.3 of the Premise SEE 2023 dealing with Land Use Zoning states 'the development is consistent with the above objectives', however there is only reference to the E1 Local Centre zone and no reference to the R1 General Residential zone objectives.

A review of the E1 Local Centre and R1 General Residential zone objectives concludes that the proposed development is consistent with all relevant zone objectives for the following reasons:

- Motels are permitted on land zoned E1 Local Centre and R1 General Residential with consent.
- The proposal will support the temporary employment accommodation needs of the community, which is experiencing considerable uplift and demand from mines and other employment generating developments in the Blayney area.
- The proposal would serve the day-to-day needs of people who live in, work in and visit the local area, with some visitors to Blayney requiring accommodation which could be met by the proposal.
- The proposed development would provide employment opportunities in a central location within Blayney.
- Existing footpaths along Osman Street and Church Street adjoining the site encourage walking and cycling to the site.
- The site is within proximity to available public transport systems / services.
- The proposed development will support existing approvals for a motel/ restaurant as well as support the nearby Blayney Central Business District and wider township.
- The motel accommodation frees-up housing in the community to be used for longer-term housing in a variety of housing types and densities.

#### Clause 2.6 Subdivision Consent Requirements

Clause 2.6 of the BLEP requires that land may only be subdivided with the consent of Council, except where the proposal meets the requirements for exempt or complying development in accordance with State Environmental Planning Policy (Exempt and Complying Development Codes) 2008.

The Premise SEE 2023 indicates subdivision is not part of proposed development, with the Section 3.1 recording the following statement:

'Separate to this DA process, eight (8) of the host lots would be consolidated together into a single allotment that would host the motel that is the subject of this DA, together with the approved motel rooms fronting Osman Street via DA 2022/0006 and the redeveloped former bowling club building, via DA 2022/0099.'

At the time of writing this assessment report, the site has not been consolidation into one allotment.

#### Clause 2.7 Demolition Requires Consent

This clause requires consent for the demolition of a building or work. It is noted that previous demolition work has been carried out at the site in accordance with previous approvals, including removal of bowling greens, demolition of internal and external components of existing buildings. Demolition of part of block 24 is required to allow construction of 6 accessible motel rooms. A condition is included in the consent to require that demolition is carried out in accordance with the Australian Standard AS 2601—2001.

#### Clause 4.1 Minimum Subdivision Lot Size

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This clause applies to subdivision of any land shown on the Lot Size Map of the BLEP that requires development consent.

The Premise SEE 2023 has not included an assessment of Clause 4.1 of the BLEP, as they advise subdivision (consolidation) has been previously provided with an approval (see Section 1.1 of the SEE).

Review of previous consents granted by Council confirms that Condition 54 of Development Consent No. DA 6/2022 requires the applicant to provide evidence of a plan of consolidation of the site. A review of the site records revealed that the site has not been consolidated into one allotment to date. It is noted that the lot size created from proposed consolidation of land complies with the Minimum Lot Size Map applying to the site.

#### Clause 5.3 Development near Boundaries

This clause applies to so much of any land that is within 20m of a boundary between any two (2) zones. The clause allows development permitted on the other side of a zone boundary for uses permitted in the adjoining zone.

The site and surrounds comprise a mix of land zoned E1 Local Centre and R1 General Residential zone and there are boundaries relevant to this clause at the site.

DA 55/2023 does not seek to apply the flexibility provided under Clause 5.3 in relation to the proposed motel development, and further consideration of this clause is not warranted.

#### Clause 5.10 Heritage Conservation

Clause 5.10 Heritage Conservation applies to the site / proposal, as the site is located within the Blayney Heritage Conservation Area, as shown on the Heritage Map – Sheet HER\_004BA. The site also adjoins several listed heritage items, as shown on the Heritage Map and Schedule 5 Environmental Heritage.

Clause 5.10(4) requires Council to consider the effect of the proposed development on the heritage significance of the Blayney Heritage Conservation Area (C1) as well as heritage items in the vicinity of the development site. Clause 5.10(5) allows Council to require a heritage management document to be prepared that assesses the extent to which the carrying out of the proposed development would affect the heritage significance of the heritage item or heritage conservation area concerned.

Section 4.2.1.5 of the Premise SEE 2023 advises the proposed development is proposed on land within the Blayney Heritage Conservation Area (C1). Additionally, the site is located:

- On a street block accommodating a number of heritage items including the Royal Hotel (I19), Club House Hotel (C22), National Australia Bank (former CBC Bank and stables) (I23), St James' Catholic Church (former Town Hall) (I24), St Paul's Presbyterian Church and house (I26), Surgery and residence(I28), Shop (Starlight Café) (I30), House (I51), House (I53), Two storey house and cottage (I55) and Residence (former Railway Institute of the Arts) (I109).
- Adjoining Street trees (I88) on Osman Street.
- Opposite I105 Old growth Elm Trees and Hoop Pine trees (Blayney High School).

The Premise SEE 2023 refers to a Statement of Heritage Impact (**SoHI**) prepared by Kate Higgins, dated 30 May 2021, which is included in Appendix C of the Premise SEE 2023. Whilst some time has elapsed since the drafting of the SoHI, the document is still a useful document to assist with the assessment of heritage issues, particularly as they relate to non-Aboriginal heritage issues.

The SoHI advises that the proposed development is acceptable regarding its impact on the visual setting of nearby heritage items for the following reasons:

- The new buildings are set well away from the nearby heritage items.
- The new buildings are low scale, and subject to an appropriate colour scheme, visually recessive.
- There will be no impact on views to the heritage items.

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- Some of the large trees at the rear of the site, which contribute to the setting of the nearby heritage items, will be retained, and there is the opportunity to retain other of the trees.
- The rear yards of the heritage items nearby adjoin the subject site, the rear yards being of less
  significance than the building described in the Heritage Schedule.
- The rear yards help to provide physical separation from the proposed new buildings to the existing buildings listed in the Heritage Schedule, and existing tree canopies in backyards will help to screen (visually separate) the proposed new buildings.
- The proposed new buildings can be screened by trees where there is a potential impact on the setting of heritage items in the vicinity.
- The proposed new sign is modest in size, is related to the proposed motel use, and replaces a previous sign.
- The proposed change to the northern façade of the existing building is a minor change that will have negligible visibility outside the site and is in keeping with the architectural character of the existing building.

The SoHI advises that the proposed works are acceptable regarding their impact on the character of the Blayney Heritage Conservation Area for the following reasons:

- The proposed new buildings, subject to some screen planting, will have limited visibility from the public domain with the result that there will be little impact on the aesthetic qualities of the surrounding streetscapes.
- The low scale of the proposed new buildings will limit their visual impact subject to an appropriate colour scheme.
- The proposed new sign is modest in size, is related to the proposed motel use, and replaces a
  previous sign.
- The proposed change to the northern façade of the existing building is a minor change that will have negligible visibility outside the site and is in keeping with the architectural character of the existing building.

No substantive assessment of Aboriginal cultural heritage is documented in the SoHI, with Section 1.3 of the document stating, 'This report does not include an assessment of the potential impacts on archaeological resources, nor on Aboriginal heritage values.' Notwithstanding, the SoHI concludes, 'After a careful assessment it is concluded that, subject to the recommendations below, the proposed works will have a limited and acceptable impact on the heritage significance and would satisfy the heritage provisions of Blayney Local Environmental Plan 2012.'

Section 5.5.1 of the Premise SEE 2023 deals with Aboriginal cultural heritage issues, including the findings of a search of the Aboriginal Heritage Information System **(AHIMS)** Web Service that confirmed there are no recorded sites of Aboriginal heritage located in, on or near the site. The SEE advises *'The site is a highly disturbed area as a result of urbanisation and is not located close to any landscape features where sites of Aboriginal significance would be expected to be found. On the basis of the above, the requirements of the due diligence have been satisfied and the development may proceed with caution.'* 

Whilst a search of the AHIMS has not identified the presence of any recorded sites or places, there is a need to consider whether the proposal will impact on potential items of Aboriginal cultural heritage significance. Based on the framework in the Due Diligence Code of Practice (**DDCP**) for the Protection of Aboriginal Objects in NSW, the following assessment statements are true:

- The proposal does not represent an activity that is a declared project under Part 3A of the EPA Act.
- The proposal Is not an activity that is an exempt activity listed in the NPW Act 1974 or other legislation.

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- The proposal will not involve harm to an Aboriginal object that is trivial or negligible under Section 86 of the NPW Act 1974.
- The proposal is not on land that is known to be in an Aboriginal Place declared by the Minister under Section 84 of the NPW Act 1974.
- The proposal is not a low impact activity for which there is a defence in the NPW Regulation 2019.

Having regard to the above, the correct procedure is to follow the generic due diligence process as per Section 8 of the DDCP. An assessment of the due diligence process is included in the Table 1 below:

#### Table 1 – Generic Due Diligence Process

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Step	Question	Response
1	Will the activity disturb the ground surface or any culturally modified trees?	Yes. Proceed to Step 2.
2	<ul> <li>Are there any:</li> <li>a) relevant confirmed site records or other associated landscape feature information on AHIMS? and/or</li> <li>b) any other sources of information of which a person is already aware? and/or</li> <li>c) landscape features that are likely to indicate presence of Aboriginal objects?</li> </ul>	No. According to the DDCP, an AHIP application not necessary and it is possible to proceed with caution. If any Aboriginal objects are found, stop work and notify DECCW. If human remains are found, stop work, secure the site and notify the NSW Police and DECCW. Consideration of Steps 3, 4 and 5 (below) not necessary.
3	Can harm to Aboriginal objects listed on AHIMS or identified by other sources of information and/or can the carrying out of the activity at the relevant landscape features be avoided?	N/A
4	Does a desktop assessment and visual inspection confirm that there are Aboriginal objects or that they are likely?	N/A
5	Further investigation and impact assessment	N/A

David Scobie Architects (Heritage Advisor to Council) has inspected the site and provided advice on the components of the proposed development considered relevant to the assessment of heritage issues under Clause 5.10 of the BLEP.

Based on a review of the SoHI, Premise SEE 2023, further due diligence assessment and advice provided from David Scobie Architects, it is assessed the proposed development would not have a significant effect on any Aboriginal cultural heritage sites, heritage item listed in BLEP and / or the Blayney Conservation Area for the following reasons:

- There is no proposal to physically change, alter, remove or demolish any heritage items listed in Schedule 5 of the BLEP.
- The existing buildings on the development site do not have significant heritage value.
- The visibility of the proposed development from nearby heritage-listed properties and other areas in the Blayney Heritage Conservation Area is limited due to the screening effects of landscaping and buildings in and around the site.

- The site is a highly disturbed / modified environment, and it is unlikely that any items of Aboriginal heritage will be discovered at the site. A search of the AHIMS has not identified any items of cultural heritage significance located within the subject property, or within a distance that would warrant further detailed investigations to determine potential impact. Due diligence assessment as per the DDCP concludes the development can proceed with caution.
- Building design details of the proposed development, including colours and external finishes, have been assessed as acceptable by Council's Heritage Advisor.

Having regard to the above, it is assessed that the proposed development satisfies the requirements of Clause 5.10 of the BLEP. A number of conditions have been included in the recommendation to this report which are aimed at ensuring the proposed development fits into the surrounding locality.

#### Clause 6.2 Stormwater Management

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Clause 6.2 applies to all land in a residential, business or industrial zone under the BLEP and aims to minimise the impacts of urban stormwater on adjoining properties, native bushland and receiving waters. Clause 6.2(3) requires Council to be satisfied that:

- The development is designed to maximise the use of water permeable surfaces on the land having regard to the soil characteristics affecting on-site infiltration of water.
- The development includes, if practicable, on-site stormwater retention for use as an alternative supply to mains water, groundwater or river water.
- The development avoids any significant adverse impacts of stormwater runoff on adjoining properties, native bushland and receiving waters, or if that impact cannot be reasonably avoided, minimises and mitigates the impact.

Section 4.2.1.6 of the Premise SEE 2023 includes an assessment of the proposal against the requirements of Clause 6.2. Section 5.13 of the Premise SEE 2023 also provides an assessment of the stormwater impacts identified in Section 4.15(1)(b) of the EPA Act. The Premise SEE 2023 also draws on the findings of a Stormwater Management Report (SMR) prepared by Barker Ryan Stewart dated December 2021, which is included in Appendix E of the Premise SEE 2023. The stormwater calculations for the proposed stormwater management system have been developed using the software package DRAINS, which is regarded as best practice in accordance with Australian Rainfall and Runoff 2019. The SMR makes the following recommendations:

- The proposed development will be drained to an above ground on-site detention (OSD) basin system before discharging to a new inlet pit in Water Street.
- The existing upstream catchment draining into the site will be captured and conveyed through the site and drain into Water Street.
- A portion of roof water from the accommodation buildings will be diverted to the existing above ground rainwater tank, which is to be reused on site for toilet flushing and irrigation.
- The roof water tank will have an overflow, which will be diverted to the OSD basin.
- The proposed development will have a beneficial impact on the quality of stormwater leaving the site through the installation of a rainwater tank and Ocean Guard pit inserts.

The SMR indicates the discharge rate from the proposed development would be equal to or less than the pre-development flows and would not significantly alter and/or worsen pre-development stormwater patterns and flow regimes, as specified in the DCP.

The SMR advises that implementation of the systems and measures described above would provide an adequate means of disposing of runoff generated by the proposed development on the site and meet Council's objectives.

In relation to Section 6.2(3) the Premise SEE 2023 advises:

- The site features an array of developed and hard stand areas, together with landscaping and permeable paving. Largely, the existing car parking areas are to be re-used, and accommodation buildings have been placed on former bowling greens or former hard stand areas. Car parking areas would be used for the management of stormwater and detailed design confirms that post development flows provide a reduction in run off compared to the pre-development level. Permeable paving would be used in the eastern car parking area as shown in Appendix E, Drawing 210531-01-102.
- Opportunities for stormwater re-use for grey water are being investigated. Rainwater is to be captured on site and reused where possible for toilet flushing and irrigation.
- The site is suitably sized to enable the on-site detention and management of stormwater to ensure no detrimental impacts to the locality. Reduction to offsite flows is provided by the proposed arrangement, resulting in a beneficial outcome.

DA 55/2023 documentation has been referred to Council's Infrastructure and Services Department for comment, with advice being received that the proposed arrangements for stormwater management are deemed satisfactory. With regard to the requirements of Clauses 6.2(3)(a)-(c), it is assessed that:

- Adequate arrangements for the disposal of stormwater have been allowed for in the stormwater designs as demonstrated in the Stormwater Management Report prepared by Barker Ryan Stewart dated December 2021 and Barker Ryan Stewart Detailed Civil Engineering Design Drawings dated 14 December 2021.
- The stormwater management system design is robust and generally follows the best practice principles in the Australian Rainfall and Runoff Guidelines 2019.
- The DRAINS software modelling shows that all stormwater from the proposed development can be contained within the OSD basin in the car parking area without causing localised flooding of nearby buildings.
- The stormwater management design achieves the correct balance of water permeable surfaces and impervious surfaces that is suitable for the proposed motel development in the context of the urban environment.
- The stormwater management design generally avoids over-use of onsite infiltration, with stormwater directed to the Water Street drainage system via a network of underground pipes, pits and OSD. The exception is the permeable paving located in the car park and landscaped areas. The onsite infiltration of stormwater would not be of a scale that has potential to cause water logging, salinity or drainage problems with buildings, driveways, salinity, landscape plantings, adjoining properties or the like.
- The discharge from the OSD is to be controlled by the combination of outlet structures, including an orifice and two overflow pits located at different heights, as shown in the Barker Ryan Stewart Detailed Civil Engineering Design Drawings, dated 14 December 2021.
- Whilst the Premise SEE 2023 suggests some opportunities for reuse of greywater may be possible for toilet flushing and irrigation, the nature of the proposed development is such that reliance on collected rainwater for reuse / alternate water supply purposes is unlikely to be practically achievable. It is therefore assumed that all stormwater is to be directed into the Water Street drainage system.
- The existing / proposed buildings are to be connected to mains water supply as the primary method of achieving the water supply requirements for the development. This arrangement is assessed to be the most practical methods of supplying potable water for motel patrons and is acceptable in the circumstances.
- Provided the system of pipes, pits and OSD basin are properly maintained as designed, no detrimental impacts on adjoining land-use and / or the existing public drainage systems are assessed to apply.

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 The likelihood of the proposed development causing significant stormwater impacts is assessed to be low.

The proposed development is considered to be consistent with Clause 6.2 of the BLEP. The Barker Ryan Stewart SMR and Civil Engineering Design Drawings are acceptable for approval under DA 55/2023 and Council is satisfied that Clause 6.2 has been met. A number of conditions have been included in the recommendation to this report which are aimed at ensuring the proposed development results in minimal impacts of urban stormwater on residential and employment zones.

Through referral, assessment and comment from Council's Infrastructure Services Department, the provisions of this clause have been properly considered and council is satisfied the development is designed to maximise the use of water permeable surfaces on the land. There are no impacts on groundwater or river water and no significant adverse impacts of stormwater runoff on adjoining properties, native bushland or receiving waters. In summary, the requirements of clause 6.2 have been properly considered and satisfied.

#### Clause 6.8 Essential Services

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Clause 6.8 of the BLEP requires that Council must not grant consent to development unless it is satisfied that any of the services that are essential for the development are available or that adequate arrangements have been made to make them available when required.

In relation to this proposal, the services that are identified as being essential include the supply of water, the supply of electricity, the disposal / management of sewage, stormwater management facilities and suitable vehicular access.

Section 4.2.1.7 of the Premise SEE 2023 includes an assessment of the proposal against the requirements of Clause 6.8 as follows:

- The site is connected to the town reticulated water network, and these connections would be augmented to ensure sufficient supply of water to the development as per the BRS drawings.
- The site is connected to the reticulated electricity network and has historically accommodated loads associated with the Blayney Bowling Club. There is adequate room on site to accommodate any necessary infrastructure upgrades.
- The site is connected to the sewerage network, and these connections would be augmented as per the BRS drawings and sewer capacity reports.
- The site features a two-way access to Church Street, and this would be upgraded to provide safe ingress and egress for vehicles as per relevant design plans.

DA 55/2023 documentation has been referred to Council's Infrastructure and Services Department for comment, with advice being received that the proposed servicing arrangements are deemed satisfactory, and Council is satisfied that Clause 6.8 has been met. With regard to the requirements of Clauss 6.8 of the BLEP, it is assessed that:

- Water The site has existing connections to the reticulated water supply system, with water main connections located within the road reservation to Osman Street and Church Street. Central Tablelands Water (CTW) is the relevant supply authority. It is assessed that adequate arrangements exist for the provision of a suitable water supply to the proposed development. A condition of approval is recommended to ensure that appropriate approvals under Section 68 of the LG Act are obtained prior to the carrying out of any new plumbing and drainage works. Headworks contributions are assessed to apply.
- Electricity It is understood from reviewing DA 55/2023 documentation that the proponent has been in contact with Essential Energy as part of their electricity supply capacity and design review. It is assessed that arrangements can and will be made for the provision of a suitable electricity supply to the proposed development.

Referral of the DA to Essential Energy was also undertaken pursuant to the provisions of State Environmental Planning Policy (Transport and Infrastructure) 2021. A response has been provided with comments incorporated into recommended conditions of consent.

- Sewerage The site has existing connection to the reticulated sewerage system. The Barker Ryan Stewart Sewer Capacity Assessment Report – 62 Osman Street Blayney, dated 14 December 2021 indicates there is capacity in the existing sewer system to accommodate for the anticipated increases in load generated by the proposed development. It is assessed that adequate arrangements exist for the connection of the proposed development to the reticulated sewerage system. A condition of approval is recommended to ensure that appropriate approvals under Section 68 of the LG Act are obtained prior to the carrying out of any new plumbing and drainage works. Headworks contributions are assessed to apply.
- Stormwater An assessment of stormwater management for the proposal has been discussed in detail as part of the assessment of Clause 6.2 of the BLEP. The assessment concludes that adequate arrangements for the disposal of stormwater have been allowed for in the stormwater designs as demonstrated in the Stormwater Management Report prepared by Barker Ryan Stewart dated December 2021 and Barker Ryan Stewart Detailed Civil Engineering Design Drawings dated 14 December 2021.
- Access- The proposed development is to gain vehicular access from an existing internal access
  driveway that connects to Church Street. Pedestrian access is to be available from Church Street
  and Osman Street. It is assessed that adequate arrangements have been made for the provision
  of suitable vehicle and pedestrian access to the development.

The requirements of clause 6.8 have been properly considered and satisfied.

#### State Environmental Planning Policy (Biodiversity and Conservation) 2021

The Biodiversity and Conservation SEPP 2021 provides the policy and assessment framework that is to be followed when new development on non-rural areas of NSW involves the clearing of native vegetation that is declared by a Development Control Plan (adopted by the Council) as requiring a permit prior to its removal, or which will exceed the biodiversity offsets scheme threshold without approval from the Native Vegetation Panel. The Biodiversity and Conservation SEPP 2021 therefore applies to the subject site, zoned E1 Local Centre and R1 General Residential zone under the BLEP.

Section 4.2.2 of the Premise SEE 2023 provides an assessment of the proposal against the requirements of the Biodiversity and Conservation SEPP 2021. The SEE confirms, 'A review of the BDCP 2018 reveals no specific controls applying with respect to tree removal. Furthermore, the proposed development does not require the removal of any vegetation. As such, the Biodiversity SEPP is not considered to apply to the development.'

Section 7.7 of this report provides an assessment of biodiversity issues, including a test of significance under Section 7.3(1) of the Biodiversity Conservation Act 2016, which concludes the following:

- No impacts on threatened species, endangered ecological communities or critically endangered ecological communities on the subject land that may be impacted by the proposal.
- No need for a Biodiversity Assessment Report (BAR) or a Biodiversity Development Assessment Report (BDAR).
- No approval required from the Native Vegetation Panel.

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No issues, implications or requirements under the Biodiversity and Conservation SEPP 2021.

#### State Environmental Planning Policy (Industry and Employment) 2021

The Industry and Employment SEPP 2021 provides standards relating to advertising and signage. It applies to the whole of the State, except for land to which State Environmental Planning Policy (Kosciuszko National Park—Alpine Resorts) 2007 and State Environmental Planning Policy (Western Sydney Parklands) 2009 applies.

Section 3.6 of the Industry and Employment SEPP 2021 provides that signage must be consistent with the objectives of Chapter 3, as well as the assessment criteria specified in Schedule 5.

Section 4.2.3 of the Premise SEE 2023 highlights the proposed re-use of an existing pylon sign support column (formerly associated with the Blayney Bowling Club) on Church Street at the property entrance for a proposed new illuminated sign (1m x 1m) to advertise the proposed motel. The Premise SEE 2023 advises this signage has been considered against the objectives of the Industry and Employment SEPP 2021 and assessment criteria in Schedule 5. It is assessed that the proposed signage would be consistent with the Industry and Employment SEPP 2021.

Council is therefore satisfied for the purposes of section 3.6 of the Industry and Employment SEPP 2021 that the signage is consistent with the objectives of this Chapter and assessment criteria specified in Schedule 5.

#### State Environmental Planning Policy (Resilience and Hazards) 2021

The Resilience and Hazards SEPP 2021 requires that Council must not consent to the carrying out of any development on land (including a change of use) unless it has considered whether the land is contaminated.

Section 4.2.4 of the Premise SEE 2023 provides an assessment of the proposal against the requirements of the Resilience and Hazards SEPP 2021. On page 25 of the Premise SEE 2023 the following is stated:

'The site has a low likelihood of potential contamination due to continuous use for the purposes of a lawn bowls club since the 1930s and lack of sites identified within the BSC LGA under the EPA list of sites reported to the EPA as at 26 of November 2021 and the EPA contaminated land register. The change of use of the site from a bowling club to motel accommodation is not considered to introduce a more sensitive land use from a contamination perspective.'

Council is therefore satisfied for the purposes of clause 4.6 of the Resilience and Hazards SEPP that applicant's assessment findings are supported. An inspection of the development has not identified any additional issues that have not been considered in the Premise SEE 2023 relating to the contamination potential of the land. Further investigation in relation to land contamination is considered unnecessary in the circumstances.

#### State Environmental Planning Policy (Sustainable Buildings) 2022

The Sustainable Buildings SEPP 2022 applies to residential and non-residential projects and provides standards which aim to encourage the design and delivery of sustainable buildings. The Premise SEE 2023 does not provide an assessment of the proposal against the requirements of the Sustainable Buildings SEPP 2022. A BCA Assessment Report and Section J Report have been prepared by Credwell Consulting which addresses the requirements for sustainable buildings. It is assessed that the proposal does not create any inconsistencies with the SEPP.

#### State Environmental Planning Policy (Transport and Infrastructure) 2021

There are provisions contained within the Transport and Infrastructure SEPP 2021 which are triggers for the referral of development applications to certain authorities prior to the Council being able to grant consent. With particular regard to the nature of the development proposed by DA 55/2023, the potential triggers for referral are summarised as follows:

Development Likely to affect an electricity transmission or distribution network

Clause 2.48 of the Transport and Infrastructure SEPP 2021 requires Council to give written notice to the electricity supply authority (and consider any response received within 21 days) when a DA involves development that comprises of involves:

- The penetration of ground within 2m of an underground electricity power line or an electricity distribution pole or within 10m of any part of an electricity tower.
- Development carried out within or immediately adjacent to an easement for electricity purposes or substation, or within 5m of an exposed overhead electricity power line.
- Development involving the installation of a swimming pool within 30m of a structure supporting an overhead transmission line, or within 5m of an overhead electricity power line.
- Development involving or requiring the placement of power lines underground.

Section 4.2.5 of the Premise SEE 2023 provides an assessment of the proposal against the requirements of the Transport and Infrastructure SEPP 2021. Based on a review of DA 55/2023 documentation, the proposal triggers the requirement for written notice to be provided to the electricity supply authority. Essential Energy were notified of the proposal and provided a response with comments incorporated into recommended advisory conditions.

#### Development in or adjacent to road corridors and road reservations

Clause 2.122 of the Transport and Infrastructure SEPP 2021 requires Council to give written notice to Transport for NSW (and consider any response received within 21 days) when a DA involves traffic generating development of a kind specified in Column 1 of Schedule 3 of the SEPP.

Section 4.2.5 of the Premise SEE 2023 provides an assessment of the proposal against the requirements of the Transport and Infrastructure SEPP 2021. Based on a review of DA 55/2023 documentation, the proposal triggers the requirement for written notice to be provided to Transport for NSW as the development site accesses a classified road and includes a carpark of 50 or more car parking spaces.

TfNSW indicated that it would be willing to grant its concurrence to the driveway works pursuant to s.138(2) of the *Roads Act 1993* subject to Council's consideration of the standard design matters (assessed by Council's Design and Development Engineer) and contact being made by the proponent to determine if a Road Occupancy Licence would be necessary. Comments have been incorporated into recommended advisory conditions as appropriate.

# 7.3. Section 4.15(1)(a)(ii) Any proposed instrument that is or has been the subject of public consultation under the Act and has been notified to the consent authority

No draft instruments have been identified which contain provisions likely to be of relevance to the determination of DA 55/2023.

#### 7.4. Section 4.15(1)(a)(iii) Any Development Control Plan

#### **Blayney Shire Development Control Plan 2018**

BDCP applies to all land within the Blayney LGA and is the relevant DCP for assessment against the proposed development.

The following Parts of the BDCP contain provisions which apply to the proposal:

- Part B Notification and Public Exhibition.
- Part D Commercial, Community and Industrial Development.
- Part E Other Land Uses.

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- Part F Subdivision and Roads.
- Part G Environmental Management and Hazards.

#### – Part H – Heritage Conservation.

Section 4.2.9 of the Premise SEE 2023 advises Parts D, E, G and H of the BDCP are applicable to the proposed development, with relevant clauses considered in Appendix B of the SEE. It is noted Part F Subdivisions and Roads is also assessed in Appendix B.

Table 2 below provides an assessment of the proposed development against the provisions contained in the BDCP, including Part B dealing with notification and public exhibition and Part F Subdivision and Roads.

DCP Ref.	Name of Control	Statement of Consistency	Planning Assessment Comment
Part B – N	otification & Public Exh	ibition	
Notified D	evelopment		
B2.1	Development not requiring notification	Not applicable to proposal.	The processing of DA 55/2023 involved notification of the proposed development from 9 November 2023 to 23 November 2023 in accordance with the Blayney Community Participation Plan 2020.
B2.2	Who will be notified?	The development is assessed to be consistent with the DCP controls.	DA 55/2023 was notified to adjoining landowners.
B2.3	Information to be included with Notification Letters	The development is assessed to be consistent with the DCP controls.	All notifiable landowners received a copy of the information and plans prescribed by Blayney Community Participation Plan 2020.
B2.4	Notification period	The development is assessed to be consistent with the DCP controls.	The processing of DA 55/2023 involved notification of the proposed development from 9 November 2023 to 23 November 2023 in accordance with the Blayney Community Participation Plan 2020.
Advertised	Development	-	
B3.1	What development will be advertised?	The development is assessed to be consistent with the DCP controls.	DA 55/2023 was processed by Blayney Shire Council as advertised development in accordance with the Blayney Community Participation Plan 2020.
B3.2	Public Exhibition Period	The development is assessed to be consistent with the DCP controls.	The processing of DA 55/2023 involved advertising of the proposed development, with public notices placed in the local newspaper on 9 November 2023 and 16 November 2023.
B3.3	Information to be publicly exhibited	The development is assessed to be consistent with the DCP controls.	The public notice included the standard information about the development proposal and the closing date of the exhibition period; being 5.00pm Thursday 23 November 2023.
B3.4	Making of submissions during the notification and advertising period	N/A	Five (5) submissions were received as a result of this engagement on the DA. An assessment of the issues raised in the submissions has been completed detailed in Table 5, with

#### Table 2 – Blayney DCP Assessment

This is Page No. 22 of the Attachments of the Extraordinary Council Meeting of Blayney Shire Council held on 18 December 2024

DCP Ref.	Name of Control	Statement of Consistency	Planning Assessment Comment
			copies of each submission included in Attachment B to this report.
B3.5	Consideration of submissions during the notification and exhibition period	N/A	Five (5) submissions were received as a result of this engagement on the DA. An assessment of the issues raised in the submissions has been completed detailed in Table 5, with copies of each submission included in Attachment B to this report.
B3.6	Notification of determination of Development Applications	N/A	Appropriate notification of the Council meeting is to be provided to the person(s) who have made a submission to DA 55/2023.
Part D – C	ommercial, Community	& Industrial Develop	oment
Commerci	al and Community Build	dings & Design	
D2.1	Site selection and land-use conflict	The development is assessed to be consistent with the DCP controls.	The proposed development is a permissible form of development in the E1and R1 zone. The proposed use of the site has been assessed to not create an unacceptable land- use conflict risk.
D2.2	General building setbacks	The development is assessed to be consistent with the DCP controls.	The existing buildings and structures are assessed to be suitably setback from property boundaries / land-uses. The proposal complies with D2.2.
D2.3	Setbacks - Zone B2 Local Centre	The development is assessed to be consistent with the DCP controls.	The existing buildings and structures are assessed to be suitably setback. The proposal complies with D2.3.
D2.4	Setbacks – Zone B5 Business Development	N/A	Assessment not required.
D2.5	Setbacks – Zone RU5 Village and Zone B6	N/A	Assessment not required.
D2.6	Building height and bulk	The development is assessed to be consistent with the DCP controls.	The proposal involves re-use of an existing two storey building and erection of new single storey buildings for motel units. The bulk, scale and height of the proposed development has been assessed in heritage reports, BCA compliance reports and the Premise SEE 2023, with no significant issues / concerns raised about building height or bulk. The proposal complies with D2.6.
D2.7	Building design	The development is assessed to be consistent with the DCP controls.	The proposed treatment of external building facades includes a variety of contemporary finishes, colours and landscaping that have been designed to be in keeping with the Blayney Heritage Conservation Area. An

This is Page No. 23 of the Attachments of the Extraordinary Council Meeting of Blayney Shire Council held on 18 December 2024

DCP Ref.	Name of Control	Statement of Consistency	Planning Assessment Comment
			assessment of crime risk including the principles of CPTED has been undertaken in the Premise SEE 2023. External infrastructure and services (air conditioning units) are provided in locations that are not readily visible from the public domain.
D2.8	Structure over public footpaths	N/A	Assessment not required.
D2.9	Street Trading / Footpath Dining	N/A	Assessment not required.
Industrial I	Building & Design		
D3.1	Site selection and land-use conflicts	N/A	Assessment not required.
D3.2	Setbacks	N/A	Assessment not required.
D3.3	Building height and bulk	N/A	Assessment not required.
D3.4	Building design	N/A	Assessment not required.
D3.5	Building materials and colours	N/A	Assessment not required.
Access and	l Parking		
D4.1	General controls	Considered.	An assessment of key issues related to car parking has been provided in DA 55/2023 documentation and in this report.
D4.2	Vehicle access	The development is assessed to be consistent with the DCP controls.	<ul> <li>The proposed development will be accessible to vehicle traffic via an existing internal access driveway that connects to Church Street.</li> <li>Vehicular access to the public road network is not possible from other locations and therefore vehicle movements into and out of the development site are to be concentrated in this location on Church Street.</li> <li>The existing access provides for two-way traffic movement and contains sufficient space for the construction of a new footpath joining the proposed development to the existing footpath network in Church Street.</li> <li>The Premise SEE 2023 has considered the potential for increased conflict between vehicles and pedestrians at this access location, and considers the proposal to be acceptable on the following grounds: <ul> <li>Church Street has a low-speed limit of 50km/h which allows for easy deceleration to exit the site.</li> <li>The southern shoulder of Church Street provides adequate deceleration and</li> </ul> </li> </ul>

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DCP Ref.	Name of Control	Statement of Consistency	Planning Assessment Comment
			waiting area for vehicles turning left-in to the site when waiting for pedestrians crossing or entering the driveway.
			<ul> <li>The number of additional movements from Church Street is not such that would significantly impact the current level of service when vehicles turning right-in to the site are waiting for pedestrians crossing or entering the driveway.</li> </ul>
			<ul> <li>At the access point to Church Street, motorists exiting the site have good sightlines due the fence on the eastern side being a chain link fence and hedges on the western side being low level.</li> </ul>
			Continued access to the development site from the Church Street location is assessed to be acceptable on the basis that it is an existing arrangement, no practical alternative options are available and the development (combined with other motel activities on the site) is unlikely to create any traffic or pedestrian safety hazards.
D4.3	Circulation and loading / unloading	The development is assessed to be consistent with the DCP controls.	The internal site design relating to loading and unloading operations at 62 Osman Street generally allows for:
		the DCF controls.	<ul> <li>Two-way traffic flow into, throughout and out of the development site.</li> </ul>
			<ul> <li>On-site car parking designed to comply with relevant legislative requirements and Council engineering standards, including the provision of disabled car parking spaces.</li> </ul>
			<ul> <li>A dedicated loading and unloading bay.</li> </ul>
			The above arrangements will adequately provide for the needs of the development.
D4.4	Parking	Considered. Assessment not required.	The proposed development provides for a total of 81 onsite car parks, which represents a shortfall of the required 107 spaces under the BDCP.
			Parking supply and traffic related impacts have been assessed in the Premise SEE 2023 and a Traffic Study also prepared by Premise, dated 27 June 2023. These reports provide a justification for the reduction in spaces for the following reasons:
			<ul> <li>In the initial years of operation, the motel is anticipated to provide a source of accommodation for workers on a range of large infrastructure projects currently</li> </ul>

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DCP Ref.	Name of Control	Statement of Consistency	Planning Assessment Comment
			occurring, or shortly coming online, within the Blayney LGA, including:
			<ul> <li>The \$185 million Newcrest Cadia Gold Mine expansion, which generates the need for approximately700-900 temporary construction workers over a period of 1-2 years.</li> </ul>
			<ul> <li>The recently approved, McPhillamy's Gold Project 9 kilometres north of Blayney – generating a need for approximately 650 temporary construction workers over the initial 3-4 years construction period. In August 2024, an aboriginal protection order was issued on the approved site and the project has been delayed.</li> </ul>
			<ul> <li>The approved Flyers Creek Wind Farm expansion project – generating a need for approximately 130 temporary construction workers over the construction period of the project.</li> </ul>
			<ul> <li>Workers on these projects will typically arrive in the region by bus or plane and will similarly be transferred to the construction sites by bus, meaning that the demand for car parking on site will be lower than for a traditional motel development.</li> </ul>
			<ul> <li>The extra available parking provided for the adjoining motel development approved under DA 2022/006.</li> </ul>
			<ul> <li>The amount of unrestricted on street parking in the vicinity of the proposed development.</li> </ul>
			The Premise SEE 2023 states, 'The minor (parking) deficiency reflects that the development can be accommodated within the site without resulting in undue impacts to the local traffic environment.'
			Having reviewed the Premise SEE 2023 and Premise Traffic Study 2023, there are acceptable grounds for allowing a variation to the DCP parking requirements. In the circumstances, the provision of 81 onsite parking spaces will adequately provide for the needs of the development.
D4.5	Pedestrian access and mobility	The development is capable of achieving	The Premise SEE 2023 states on page 50, 'The site has been selected in part due to its flat grade.'

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DCP Ref.	Name of Control	Statement of Consistency	Planning Assessment Comment
		compliance with the DCP controls.	Internal referral of DA 55/2023 to Council's Senior Building Surveyor has resulted in the following comments:
			The DA plans indicate that six (6) fully accessible rooms will be provided in accordance with the requirements of the BCA, with disabled (wheelchair) access also provided to, and within the reception area on the ground floor of the former clubhouse building. Wheelchair access will also be provided to the entrance doors of the four (4) existing double rooms of Block 24, and to the entrance doors of the existing Blocks 22 and 23 which contain four (4) single rooms each.
			The development application proposes an additional four (4) fully accessible rooms in a proposed addition to Block 24 as well as proposed Block 25 which will also contain two (2) fully accessible rooms to comply with the number of accessible rooms required by the BCA.
			Blocks 1 to 21 will be accessed by stairs to the decks fronting the rooms, with these decks not being wheelchair accessible. As per the Development Application Statement prepared by Architecture and Access Pty Ltd, dated 26 July 2024 a performance solution for access to the development is proposed that accounts for blocks 22 to 25 having accessible access, and therefore no requirement for disabled access to blocks 1 to 21 being required. The performance solution will also highlight the development has disabled access to public spaces that will allow all people to meet onsite if required.
			In view of the above, it is considered that the development can comply with the performance provisions of the BCA in regard to disabled access, subject to a condition being imposed on the consent to require full details of the performance solution for access to be submitted with the Construction Certificate Application.
			An appropriate condition of consent has been included in the recommendation to this assessment report to address accessibility issues.
D4.6	Parking and safety	Considered. Assessment not required.	The proposed development provides for a total of 81 onsite parking spaces This amount of onsite parking will adequately provide for the needs of the development. The design of the carpark is logical and capable of interpretation

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DCP Ref.	Name of Control	Statement of Consistency	Planning Assessment Comment
			by users. Signage would be installed along with lighting in accordance with DCP requirements.
D4.7	Off street parking	The development is assessed to be inconsistent with the DCP controls.	The proposed development provides for a total of 81 onsite parking spaces This amount of onsite parking will adequately provide for the needs of the development.
D4.8	Exemptions to off street parking	Exemptions are assessed not to apply.	It is assessed that the proposal does not qualify for an exemption to the provision of additional on-site car parking, as the existing onsite car parking spaces associated with the former use (Blayney Bowling Club) have been dedicated to other development aspects approved under separate consents. On this basis, any shortfall of off-street parking associated with the proposal is to be treated as a variation to the Blayney DCP. Section D4.4 provides an assessment of onsite parking provision and variations to nominal parking standards. Having reviewed the Premise SEE 2023 and Premise Traffic Study 2023, there are acceptable grounds for allowing a variation to the BDCP parking requirements. In the circumstances, the provision of 81 onsite parking spaces will adequately provide for the needs of the development.
D4.9	Table of Car Parking Requirements	The development is assessed to be consistent with the DCP controls.	The proposed development provides for a total of 81 onsite car parks. This amount of onsite parking will adequately provide for the needs of the development.
Ancillary [	Development		·
D5.1	Open storage, utility and service areas	The development is assessed to be consistent with the DCP controls.	The site layout does not propose new storage areas that require screening from public view, other than garbage enclosures. The waste storage area is proposed adjacent to the existing bowling club building in the car parking area. Site utilities, including air conditioning units, are generally not readily visible from public places due to the centralised location of the existing building and the screening effects achieved by landscaping and buildings.
D5.2	Solid waste management	The development is assessed to be consistent with the DCP controls.	Garbage storage and collection is to occur from a dedicated and secure waste bin storage area, with the collection of waste and garbage to be carried out by a commercial waste and recycling operator. Internal waste collection is provided at source with integrated waste collection at the activity points within the facility. This includes appropriate sanitary

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DCP Ref.	Name of Control	Statement of Consistency	Planning Assessment Comment
			waste collection of activity waste at the sinks within the facility.
D5.3	Landscaping	The development is assessed to be consistent with the DCP controls.	The Premise SEE 2023 advises that a detailed landscape plan has been submitted with the DA 55/2023 documentation. No issues are raised in relation to proposed site landscaping.
D5.4	Fencing	The development is assessed to be consistent with the DCP controls.	The Premise SEE 2023 advises that existing boundary fencing would be maintained and improved as required to ensure the security of the site is maintained. Fencing along the western extent of the motel units would be installed as timber, lapped and capped style fencing.
D5.5	Advertising and signage	The development is assessed to be consistent with the DCP controls.	A new advertising sign is to be installed in accordance with relevant requirements.
D5.6	External lighting	The development is assessed to be consistent with the DCP controls.	The Premise SEE 2023 confirms lighting would be installed (to AS 4282-1997 Control of the obtrusive effects of outdoor lighting) to ensure a safe environment for site users.
Site Planni	ng, Earthworks and Uti	lities	
D6.1	Site planning	The development is assessed to be consistent with the DCP controls.	The Premise SEE 2023 advises a site survey has been completed and a careful analysis of site features has been completed. The proposed development has been assessed to be appropriate within the Blayney Heritage Conservation Area.
D6.2	Earthworks	The development is assessed to be consistent with the DCP controls.	The existing site topography will not require significant cut/fill or changes to existing landform. The site is generally flat and is assessed to be suitable for the proposed development. Site contamination has been assessed and no significant issues have been identified (refer Section 8.3.1).
D6.3	Building near utilities	The development is assessed to be consistent with the DCP controls.	A site survey has been submitted with the DA documentation which does not identify any public or private utility installations in locations that will be impacted by the proposed development, particular as the works relate to an existing building. There are no known easements in locations that will impede the proposed site layout.
D6.4	Connection to utilities	The development is assessed to be consistent with the DCP controls.	The Premise SEE 2023 provides an assessment of Clause 6.8 of the BLEP. It is assessed that appropriate arrangements have been made for the connection of the proposed development to relevant utilities.

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DCP Ref.	Name of Control	Statement of Consistency	Planning Assessment Comment
D6.5	Siting and visibility of utilities	The development is assessed to be consistent with the DCP controls.	A site survey has been submitted with the DA documentation and does not identify any public or private utility installations in locations that will be impacted by the proposed development, particular as the works relate to an existing building. There are no known easements in locations that will impede the proposed site layout.
D6.6	Liquid Trade Waste	The development is capable of achieving compliance with the DCP controls.	The proposed use of the existing clubhouse building for kitchen facilities will generate a liquid trade waste stream. A Liquid Trade Waste Permit will be required prior to the commencement of use and appropriate conditions have been recommended.
D6.7	On-site Sewage Management	N/A	Assessment not required.
D6.8	Water and Energy Efficiency	The development is assessed to be consistent with the DCP controls.	A Section J Report has been prepared by Credwell, dated 6 October 2023 which demonstrates the building design can comply with Part J of the BCA.
Part E – Of	ther Land Uses		-
E2.5	Advertising and Signage	The development is assessed to be consistent with the DCP controls.	No signage as stipulated in this section is proposed.
E2.6.1	Under Awning Signage	The development is assessed to be consistent with the DCP controls.	No signage as stipulated in this section is proposed.
E.2.6.2	Above Awning Signage	The development is assessed to be consistent with the DCP controls.	No signage as stipulated in this section is proposed.
E2.6.3	Temporary Signage	The development is assessed to be consistent with the DCP controls.	No signage as stipulated in this section is proposed.
E2.6.4	Facia Signage	The development is assessed to be consistent with the DCP controls.	No signage as stipulated in this section is proposed.
E2.6.5	Pylon and Pole Signage	The development is assessed to be consistent with the DCP controls.	The existing pylon sign on Church Street would be utilised for new signage associated with the motel, with proposed signage being assessed to comply with this section.
E2.6.6	Top Hamper Signage	The development is assessed to be	No signage as stipulated in this section is proposed.

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DCP Ref.	Name of Control	Statement of Consistency	Planning Assessment Comment
		consistent with the DCP controls.	
E2.6.7	Portable Signage	The development is assessed to be consistent with the DCP controls.	No signage as stipulated in this section is proposed.
E2.6.8	Window Signage	The development is assessed to be consistent with the DCP controls.	No signage as stipulated in this section is proposed.
E6	Restaurants, Functions Centres in Rural Zones	N/A	Assessment not required.
Part F – Su	bdivision and Roads		
F5.1	Lot Size and Arrangements	The development is assessed to be consistent with the DCP controls.	The Premise SEE 2023 has not included an assessment of Clause 2.6 of the BLEP, as they advise the consolidation has been previously provided with an approval (see Section 1.1 of the SEE). Review of previous consents granted by Council confirms that Condition 54 of Development Consent No. DA 2022/0006 requires the applicant to provide evidence that a plan of consolidation of Lot 1 DP 162646, Lot 8 DP 505215, Lot 20 DP 569741, Lots 11-14 Section 13 DP 758121 and Lot 10 DP 1114679 has been registered with NSW Land Registry Services. The plan of consolidation had been completed and registered with NSW Land Registry Services.
Part G – Er	vironmental Managem	nent & Hazards	
Part G2 - B	uffers to Sensitive Land	d Uses	
G2.1	Application of section	The controls in Part G2 are assessed not to apply.	<ul> <li>Part G2 applies to a proposed development where: <ul> <li>a sensitive land-use is proposed within the nominated buffer distances to an existing or likely higher impact land-use, or</li> <li>a higher impact land-use proposed within the nominated buffer to an existing or likely future sensitive land-use.</li> </ul> </li> <li>The proposed development is not assessed to be a "higher impact land-use". Further assessment of Part G2 is not considered to be necessary.</li> </ul>
G2.2	Objectives	Considered. Assessment not required.	Refer to comment at G2.1.

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DCP Ref.	Name of Control	Statement of Consistency	Planning Assessment Comment	
G2.3	Noise and Vibration	Considered. Assessment not required.	Refer to comment at G2.1.	
G2.4	Odour and Dust	Considered. Assessment not required.	Refer to comment at G2.1.	
G2.5	On-site effluent disposal	Considered. Assessment not required.	Refer to comment at G2.1.	
G2.6	Buffers to Sensitive Land Uses	Considered. Assessment not required.	Refer to comment at G2.1.	
G2.7	Buffers and Landscaping	Considered. Assessment not required.	Refer to comment at G2.1.	
G2.8	Agriculture and Right to Farm	Considered. Assessment not required.	Refer to comment at G2.1.	
Part G3 – S	Stormwater and Draina	ge		
G3.1	Application of section	The development is assessed to be consistent with the DCP controls.	A detailed assessment of the proposed development against the requirements of Section 6.2 of BLEP has been completed in Section 4.2.1.6 of the Premise SEE 2023 as well as in this report. The assessment concludes that adequate arrangements for stormwater management have been incorporated in DA 55/2023 documentation.	
G3.2	Objectives	The development is assessed to be consistent with the objectives for stormwater and drainage.	Refer to comment at G3.1.	
G3.3	Stormwater Management	The development is assessed to be consistent with the objectives for stormwater and drainage.	Refer to comment at G3.1.	
Part G4 - F	looding			
The site is	not mapped as Flood P	lanning Area. Conside	eration of Part G4 is not necessary.	
Part G5 - B	Bushfire			
The site is	not mapped as Bushfire	e Prone. Consideratio	on of Part G5 is not necessary.	
Part G6 – Land Contamination				
G6.1	Application of section	The development is assessed to be	Section G6 applies to land within the Blayney LGA and requires assessment.	

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DCP Ref.	Name of Control	Statement of Consistency	Planning Assessment Comment
		consistent with the DCP controls.	
G6.2	Objectives	The development is assessed to be consistent with the objectives for land contamination.	A detailed assessment of the proposed development against the requirements of the Resilience and Hazards SEPP 2021 has been documented in Section 4.2.1.1 of the Premise SEE 2023 as well as in this report. There is a low likelihood of potential contamination at the site of the proposed development. The use of the land for purposes associated with the former Blayney Bowling Club is understood to have extended as far back as the 1930's. There are no uses of the site which are known to have occurred on the land since the closure of the Bowling Club which give rise to concerns about potential land contamination. Further investigation in relation to land contamination is considered unnecessary in the circumstances.
	Significant Vegetation a	-	
The site is	not mapped as Biodive	rsity. Consideration o	of Part G7 is not necessary.
Part G8 – I	Drinking Water Catchm	ents and Ground Wa	ter Vulnerability
	s not identified as being rater catchment area.	g within an area affec	ted by vulnerable groundwaters or within a
Part G9 – I	Land and Soils		
G9.1	Application of section	The development is assessed to be consistent with the DCP controls.	Site investigations have been completed. There is no indication that the site might be affected by geological, soil classification/types or salinity issues that could impact on the proposed development. There are no environmental constraints which are considered to be prohibitive to the proposed development.
Part H – H	eritage Conservation		
Part H1 - I	ntroduction		
H1.1	Application of section	The development is assessed to be consistent with the DCP controls.	Section H applies to the proposed development as it is located within the Blayney Heritage Conservation Area and is also located in proximity to heritage items listed in Schedule 5 of the BLEP.
H1.2	Objectives of Heritage Conservation	The development is assessed to be consistent with the objectives for heritage conservation	A detailed assessment of the proposed development against the heritage planning framework in Clause 5.10 of the BLEP has been completed and included in Premise SEE 2023 and in this report. It is assessed the proposal will not have a significant impact on heritage values in and around the site.

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DCP Ref.	Name of Control	Statement of Consistency	Planning Assessment Comment
H1.3	Other parts of the DCP	The development is assessed to be consistent with the DCP controls.	The development has been assessed against the requirements of all other relevant parts of the BDCP.
H1.4	Variation to Controls	The proposal does not require a variation to the controls in Part H of the DCP.	The proposal does not require a variation to the controls in Part H of the BDCP.
Part 2 – D	evelopment Consent Re	quirements	
H2.1	Development requiring consent	The development is assessed to be consistent with the DCP controls.	A DA has been lodged for the proposal.
H2.2	Development not requiring consent	The development is assessed to be consistent with the DCP controls.	A DA has been lodged to obtain consent for the proposal.
H2.3	Document to be submitted with a Development Application	The development is assessed to be consistent with the DCP controls.	Sufficient information has been provided in the DA 55/2023 documentation to allow an assessment of the likely impacts of the proposal in terms of the Blayney Heritage Conservation Area. A heritage management document (SoHI) has been submitted with the DA.
H2.4	Archaeological Sites (Non-Indigenous)	The development is assessed to be consistent with the DCP controls.	The land is not identified to be impacted by any known items of non-indigenous archaeological significance.
H2.4	Aboriginal Places of Heritage Significance	The development is assessed to be consistent with the DCP controls.	A detailed assessment of the potential impact in terms of non-indigenous heritage has been completed in the Premise SEE 2023 and this report. Given the highly disturbed nature of the site and known land-use history (associated with the former Blayney Bowling Club), it is assessed to be unlikely that any items of Aboriginal heritage will be discovered during construction processes associated with the proposed development.
H2.6	State Heritage Items	The development is assessed to be consistent with the DCP controls.	The land will not impact on any State Heritage Items.
H2.7	Conservation Incentives	The development is assessed to be consistent with the DCP controls.	The proposal is not seeking development consent under the conservation incentives clause.

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DCP Ref.	Name of Control	Statement of Consistency	Planning Assessment Comment	
H3 Develo	H3 Development of Heritage Items			
Not applic	Not applicable for consideration. The proposal does not involve the demolition of a heritage item.			
H4 Develo	pment in the vicinity of	Heritage Items		
H4.1	Siting, Scale and Proportion	The development is assessed to be consistent with the DCP controls.	Buildings are well setback from nearby heritage items and not visible from the public domain. Buildings are low scale and subordinate to surrounding heritage buildings.	
H4.2	Materials and colours	The development is assessed to be consistent with the DCP controls.	The proposed works improve the visual appearance of the building through cleaning of visible retained brickwork (including breeze brick feature wall) at the ground floor and provision of light and dark cladding that is both contemporary in appearance and sympathetic to the heritage context.	
H5 Develo	pment within the Herit	age Conservation Are	a	
H5.1	Scale and Form	The development is assessed to be consistent with the DCP controls.	The Premise SEE 2023 advises scale is proportionate and subordinate to surrounding and prevailing scale. Important views are not obscured. Roof form in the locality is varied. Proposed roof form is low profile and not generally visible from the public domain. Effective integration is considered achievable. No direct street frontage. Fencing and landscaping would be proposed to provide effective integration.	
H5.2	Siting	The development is assessed to be consistent with the DCP controls.	The site is not listed as a heritage item. The proposed works are consistent with the area. The proposal is in character with the Blayney Heritage Conservation Area.	
H5.3	Materials and Colours	The development is assessed to be consistent with the DCP controls.	The site is not listed as a heritage item. The proposed works are in character with the Blayney Heritage Conservation Area. Colours proposed would be subordinate to ensure effective integration.	
H5.4	Doors and Windows	The development is assessed to be consistent with the DCP Controls.	The site is not listed as a heritage item. The proposed works are in character with the Blayney Heritage Conservation Area. Windows and doors are to be subordinate to ensure effective integration.	
H5.5	Outbuildings	The development is assessed to be consistent with the DCP Controls.	The site is not listed as a heritage item. Buildings are well setback from nearby heritage items and not visible from the public domain. Buildings are low scale and subordinate to surrounding heritage buildings.	
H5.6	Fencing	The development is assessed to be consistent with the DCP Controls.	Existing boundary fencing to be maintained. New timber internal fencing on the western extent of the motel development.	

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# 7.5. Section 4.15(1)(a)(iiia) Any planning agreement that has been entered into under section7.4, or any draft planning agreement that a developer has offered to enter into under section 7.4

There are no planning agreements or draft planning agreements relevant for consideration as part of the assessment and determination of DA 55/2023.

#### 7.6. Section 4.15(1)(a)(iv) The Regulations

#### Clause 61(1) - Demolition

Clause 61(1) requires that in determining a DA for the demolition of a building, the consent authority must consider the Australian Standard AS 2601—2001: The Demolition of Structures. Demolition of part of block 24 is required to allow construction of 6 accessible motel rooms. A condition is included in the consent to require that demolition is carried out in accordance with the Australian Standard AS 2601—2001.

#### Clause 61(2) – Subdivision Orders

Clause 61(2) requires that in determining a DA for the carrying out of development on land that is subject to a subdivision order made under Schedule 7 to the LG Act 1993, the consent authority must consider the subdivision order, and any development plan prepared for the land by the relevant authority. DA 55/2023 does not involve the carrying out of development on land that is subject to a subdivision order under the LG Act.

#### Clause 61(3) – Dark Sky Planning Guidelines

Clause 61(3) requires that in determining a DA for development on specified land within Coonamble, Gilgandra, Warrumbungle Shire or Dubbo Regional LGAs, the consent authority must consider the Dark Sky Planning Guideline. DA 55/2023 does not relate to land in a specified Local Government Area and is not within 200m of the Siding Spring Observatory.

#### Clause 61(4) – Manor Houses or Multi-Dwelling housing

Clause 61(4) requires that in determining a DA for the purposes of a manor house or multi dwelling housing, the consent authority must consider the Low-Rise Housing Diversity Design Guide for Development Applications. DA 55/2023 does not relate to manor houses or multi-dwelling housing.

#### Clause 62 – Consideration of Fire Safety

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Clause 62 applies to the determination of a DA for a change of building use for an existing building if the applicant does not seek the rebuilding or alteration of the building. Council must:

(a) consider whether the fire protection and structural capacity of the building will be appropriate to the building's proposed use, and

(b) not grant consent to the change of building use unless the consent authority is satisfied that the building complies, or will, when the development is completed, comply, with the Category 1 fire safety provisions that are applicable to the building's proposed use.

This Clause is applicable in regard to the alterations to the ground floor of the former bowling club building, which has been converted to the motel reception area under the previous invalidated consent and construction certificate.

A BCA Compliance Report has been prepared by Credwell Consulting Pty Ltd, dated 18 October 2023 which considers fire safety related issues; and an inspection of the building has been carried out by Council's Senior Building Surveyor on 13 June 2023 as part of the concurrent BIC Application. The building is several decades old, but in good condition with no apparent structural defects and has sufficient structural capacity for its use as a motel reception area. The alterations for the motel reception area have been completed with the area being fire separated from the remainder of the building (currently vacant) and complying with the BCA in regard to fire protection. The alterations are approximately 130m<sup>2</sup> in area and as such do not require Category 1 fire safety provisions, as hydrants coveragewill be provided as part of the performance solution for the modular buildings. Portable fire extinguishers will also be provided in the building as part of the overall fire protection of the development.

#### Clause 63 – Temporary Structures

Clause 63 requires consideration when a DA involves the erection of a temporary structure. DA 55/2023 does not relate to erection of any temporary structures.

#### Clause 64 – Upgrade of buildings

(1) This section applies to the determination of a development application that involves the rebuilding or alteration of an existing building if:

(a) the proposed building work and previous building work together represent more than half of the total volume of the building, or

- (b) the measures contained in the building are inadequate:
  - (i) to protect persons using the building, if there is a fire, or

(ii) to facilitate the safe egress of persons using the building from the building, if there is a fire, or

(iii) to restrict the spread of fire from the building to other buildings nearby.

Clause 64(2) requires the consent authority to consider whether it is appropriate to require the existing building to be brought into total or partial conformity with the BCA. Clause 64(3) deals with previous building work, which means building work completed or authorised within the previous three (3) years. Total volume of a building is also defined to mean the volume of the building before the previous building work commenced and measured over the building's roof and external walls.

This Clause is assessed to apply to the modular buildings that have been placed on the site under the previous invalidated consent as the following alterations are proposed:

- Erection of a verandah to Block 6.
- Construction of decks, stairs and ramps to provide access to the entry doors of the bedrooms of the modular buildings.
- Installation of fire safety measures such as a fire detection and alarm system, portable fire extinguishers, sprinklers and hydrants.
- Additions to Block 24 and a new Block 25 to provide six (6) accessible rooms, as well as an accessible path of travel comprising ramps and paths from the public road to the accessible buildings and throughout the site.

The BCA Compliance Report by Credwell identified that the modular buildings do not fully comply with the deemed-to-satisfy provisions of the BCA in regard to disabled persons access, energy efficiency and sound transmission of separation walls.

#### Fire Safety

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The scope of work proposed under DA 55/2023 will require a fire safety upgrade for the modular buildings which are now considered to be permanent Class 3 Motel buildings under the BCA. The main fire safety issue for the modular buildings is that the walls separating the rooms do not have a Fire Resistance Level of 60/60/60 as is required under the deemed-to-satisfy provisions of the BCA.

The BCA allows performance solutions to be designed for buildings to meet the performance clauses in lieu of complying with the prescriptive deemed-to-satisfy provisions. In this regard, a Fire Engineering Report (Rev-F dated 5 August 2024) has been prepared by Performance Based Consulting Pty Ltd (**PCB**) for the modular buildings, which recommends an automatic fire detection and alarm system, an automatic sprinkler system, portable fire extinguishers and a fire hydrant system be installed as the performance solution in compliance with the BCA.

The Fire Engineering Report prepared by PCB has been assessed by Council's Senior Building Surveyor as well as Jensen and Hughes Pty Ltd. It is assessed that the automatic fire detection and alarm system, automatic sprinkler system, portable fire extinguishers and fire hydrant system proposed to be installed to service modular buildings will be adequate to comply with the BCA.

The Fire Engineering Report prepared by PCB was also referred to Fire and Rescue NSW, who gave conditional support subject to:

- All additional fire safety measures are to be installed as per Table 12 of PBC's Fire Engineering Report.
- Each modular building must be provided with a detection system in accordance with Part E2 and AS 1670.1:2018.
- A sprinkler head must be installed in each of the bedrooms in accordance with FPAA101D.
- Portable fire extinguishers must be provided throughout each modular building in accordance with BCA Clause E1D14.

In view of the above, it is considered that the buildings can be adequately upgraded to comply with the Performance Provisions of the BCA in regard to fire safety, subject to a condition being imposed on the consent to require compliance with the PCB Fire Engineering Report (revision F, dated 5 August 2024) and the conditions of Fire and Rescue NSW.

#### **Disabled Persons Access**

The DA plans indicate that six (6) fully accessible rooms will be provided in accordance with the requirements of the BCA, with disabled (wheelchair) access also provided to, and within the reception area on the ground floor of the former clubhouse building. Wheelchair access will also be provided to the entrance doors of the four (4) existing double rooms of Block 24, and to the entrance doors of the existing Blocks 22 and 23 which contain four (4) single rooms each. The development application proposes an additional four (4) fully accessible rooms in a proposed addition to Block 24 as well as proposed Block 25 which will also contain two (2) fully accessible rooms to comply with the number of accessible rooms required by the BCA.

Blocks 1 to 21 will be accessed by stairs to the decks fronting the rooms, with these decks not being wheelchair accessible. As per the Development Application Statement prepared by Architecture and Access Pty Ltd, dated 26 July 2024 a performance solution for access to the development is proposed that accounts for blocks 22 to 25 having accessible access, and therefore no requirement for disabled access to blocks 1 to 21 being required. The performance solution will also highlight the development has disabled access to public spaces that will allow all people to meet onsite if required.

In view of the above, it is considered that the development can comply with the performance provisions of the BCA in regard to disabled access, subject to a condition being imposed on the consent to require full details of the performance solution for access to be submitted with the Construction Certificate Application.

#### **Energy Efficiency**

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The Section J Report prepared by Credwell Consulting Pty Ltd, dated 6 October 2023 shows that buildings can comply with the Performance Provisions of Section J of the BCA subject to the provision of a solar panel system with a minimum annual peak output of 134MWh. A condition is recommended to be

imposed on the consent to require compliance with the Section J Energy Efficiency Assessment prepared by Credwell Consulting Pty Ltd, dated 6 October 2023.

#### Sound Transmission of Separating Walls

The floor layout of the modular buildings is that the four (4) rooms each have an ensuite, with two (2) of the separating walls being ensuite to ensuite, and the other separating wall being bedroom to bedroom.

The Acoustic Report prepared by Acoustik Pty Ltd, dated 4 October 2023 provides test results of sound insulation of separating walls in modular units. The assessment results indicate that none of the modular units comply with the noise criteria specified in the BCA.

Additional sound insulation has not been proposed, as the Acoustic Report gives the following justification in their assessment:

'The major purpose of this development is to provide sleeping quarters for workers at the local industry and mines. The accommodation is transient to medium term. Bedrooms only have occupancy for a single individual (apart from the 4 double bedrooms), no additional seating is provided for guests. Rectification works to SOU (sole occupancy unit) walls are not feasible given the portable building construction does not have sufficient space to accommodate modifications. The shortfall in providing sound insulation is noted and the developer is taking the following steps to mitigate the shortfall. The following conditions of occupation will be included in contractual rental agreements:

- 1. Information is provided to occupants that the accommodation falls short of the NCC (National Construction Code that includes the BCA requirements regarding sound insulation between rooms.
- 2. Noisy activity in bedrooms is not permitted and especially during sleeping periods noting that shift workers may be sleeping during the day. Primarily the bedrooms are for sleeping and relaxation. Occupants are advised to close ensuite doors when ensuite is not in use to improve sound isolation to adjoining SOU.
- 3. Signage will be posted in common areas of the development and in rooms regarding noise creation. Loud phone conversations in bedrooms are to be avoided.'

In view of the above, it is considered that the non-compliance with the BCA in regard to sound insulation of the separating walls is an amenity issue and does not affect the safety of the occupants of the modular buildings. Given that occupants of modular units will generally be employed by one or two mining companies, there will likely be a high degree of control / compliance that could be expected to be achieved by notices at units as suggested by Acoustik Pty Ltd.

A condition is recommended to be imposed on the consent to require the current Plan of Management for the Motel be amended to include the recommendations of the Acoustic Report prepared by Acoustik Pty Ltd, dated 4 October 2023.

#### **BCA Summary**

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The development application can be conditioned to address the BCA with respect to fire safety, energy efficiency and disabled access, with the minor non-compliance with respect to sound insulation of the separating walls being acceptable as the buildings are considered fit for purpose and suitable for use as a Motel.

Clause 65 – Sydney Opera House

Not relevant for consideration.

Clause 66 - Contributions plans for certain areas in Sydney

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Not relevant for consideration.

Clause 67 – Modification or surrender of development or existing use right

Not relevant for consideration.

Clause 68 – Voluntary surrender of development consent

Not relevant for consideration.

# 7.7. Section 4.15(1)(b) The likely impacts of the development, including environmental impacts both the natural and built environments, and social and economic impacts in the locality

#### **Context and Setting**

The property at 62 Osman Street is located centrally within the Blayney Township and is contained within a neighbourhood block defined by Church Street (north), Adelaide Street (east), Water Street (south) and Osman Street on the west.

The site is surrounded by a mix of residential, commercial and community uses. The land to the north and the south is generally used for residential purposes. The land to the east is generally used for commercial purposes (forming part of the Blayney Central Business District). Land to the west (on the opposite side of Osman Street) accommodates the Blayney High School.

Given the mix of land-uses in the immediately surrounding area, and the previous commercial use of the land, it is assessed that the proposed new uses will not result in a development scenario that is inconsistent with the with the context and setting of the land.

#### Access, Transport and Traffic

#### Access and Traffic

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Based on a review of the plans and documents lodged in the support of the DA, the proposed access and traffic arrangements to the development are described as follows:

- The existing building is accessible to vehicle traffic via an existing internal access drive that connects to Church Street. Vehicular access to the public road network is not possible from other locations.
- The existing building is accessible to pedestrian traffic from Osman Street and Church Street via a series of internal concrete paths.

The key issues related access and traffic include:

- The suitability of Church Street to accommodate the expected increases in traffic likely to be generated by the proposed development.
- Potential traffic conflicts created by competing land-uses in the immediate vicinity of the development site.
- The suitability of the proposed off-street car parking arrangements proposed for the motel and likelihood of overspill car parking occurring on Osman Street.
- The safety and suitability of the existing access locations to the site having regard to likely vehicle and pedestrian movements on Church Street.

The following observations relating to access and traffic were made as a result of an inspection of the development site:

- Church Street is sealed road construction, having a width of approximately 10m, within a 30m wide reservation. Church Street is a low-speed environment with a limit of 50km/h.
- Church Street has a straight alignment and under existing conditions there are generally no sight distance issues influencing vehicle safety at the main entrance location to the land.
- The southern shoulder of Church Street provides adequate waiting area for vehicles turning leftin to the site when waiting for pedestrians crossing or entering the driveway, and for vehicles turning right-in to the site when giving way to oncoming vehicles or waiting for pedestrians crossing or entering the driveway.
- On-street car parking (rear to kerb) is currently permissible on both the northern and southern sides of Church Street. On-street car parking within Church Street generally occurs intermittently and is associated with existing residential properties, the Blayney Shire Council and commercial use within nearby Adelaide Street.
- Church Street is provided with existing street lighting.

An assessment of the likely access and traffic impacts has been completed and documented as follows:

- Church Street is constructed to an existing standard that is capable of accommodating the expected increases in traffic likely to be generated by the proposed development.
- Currently Church Street functions so as to provide for the movement of localised traffic between surrounding neighbourhoods and key land-use attractors in the vicinity, as well as regional traffic connecting to Blayney from nearby centres such as Orange. Having considered the nature of the proposed development, the historic use of the land for a similar purpose (Blayney Bowling Club) and the proposed vehicle and pedestrian access arrangements to the land, there is a low probability that the operation of the proposed development would adversely impact on existing traffic conditions in Church Street.
- Having considered the integral relationship between the proposed development and the motel accommodation already approved for the land under DA 6/2022 and 99/2022, there is unlikely to be a significant intensification of land-use at the site, such that any increases in vehicle or pedestrian activity are likely to be beyond the capacity of the existing public road and footpath network.
- The proposed on-site car parking arrangements have been assessed in this report and it is generally concluded that the likely impacts are within acceptable limits.

Having regard to the above, the proposed development is assessed to have an acceptable impact in terms of access and traffic, with identified issues able to be addressed through conditioning of the consent.

#### Pedestrian Connectivity

Based on a review of the plans and documents lodged in the support of the DA, the proposed pedestrian connectivity to the development are described as follows:

- The existing building is accessible to pedestrian traffic from Osman Street via an entrance gate that connects to the existing public footpath network. As part of the design of the motel development under DA6/2022 this entrance gate is proposed to be retained, allowing for pedestrian traffic to enter the land on Osman Street, walk through the centre of the motel building and then onwards to the former bowling club building via a network of internal concrete paths.
- The building is also accessible to pedestrian traffic from Church Street via a series of internal concrete paths that have been constructed and provide accessible connections from the existing footpath networks on Osman Street and Church Street to the proposed development.

#### <u>Parking</u>

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Section 5.2 of the Premise SEE 2023 and a Traffic Study also prepared by Premise, dated 27 June 2023 provides an assessment of the proposal against the requirements of parking. The proposed development

provides for a total of 81 onsite car parks, which represents a shortfall of the required 107 spaces under the BDCP. The reports prepared by Premise provide a justification for the reduction in spaces for the following reasons:

- In the initial years of operation, the motel is anticipated to provide a source of accommodation for workers on a range of large infrastructure projects currently occurring, or shortly coming online, within the Blayney LGA, including:
  - The \$185 million Newcrest Cadia Gold Mine expansion, which generates the need for approximately 700-900 temporary construction workers over a period of 1-2 years.
  - The recently approved, McPhillamy's Gold Project 9 kilometres north of Blayney generating a need for approximately 650 temporary construction workers over the initial 3-4 years construction period. (On 19 August 2024, the Federal Minster for the Environment and Water announced a Section 10 declaration over a part of the project site, resulting in the loss of access to the planned tailings storage facility area. This Section 10 declaration has delayed the project.)
  - The approved Flyers Creek Wind Farm expansion project generating a need for approximately 130 temporary construction workers over the construction period of the project.
  - Workers on these projects will typically arrive in the region by bus or plane and will similarly be transferred to the construction sites by bus, meaning that the demand for car parking on site will be lower than for a traditional motel development.
- Additional parking is available onsite from the motel development approved under DA 6/2022. The approved 20 room motel has 26 carparking spaces, providing 4 additional carparking spaces for the site.

An inspection of the site and surrounds has also identified that on-street parking opportunities would also be available in the following locations:

- Church Street, between Osman Street and Adelaide Street, which allows generally for rear to kerb angled parking along the northern and southern sides of the street between existing driveway locations. There are existing concrete footpath installations on the northern and southern sides of this section of Church Street.
- Adelaide Street, which is within 120m walking distance (via established concrete footpath) of the entry location to 62 Osman Street on Church Street.

The Premise SEE 2023 Section 5.2 states, 'The minor (parking) deficiency reflects that the development can be accommodated within the site without resulting in undue impacts to the local traffic environment'.

The assessment work presented above generally concludes that the rate of car parking provision on the land at 62 Osman Street is likely to be capable of supporting the uses for the land without generating unacceptable amenity impacts associated with car parking overspill on the nearby local road network. In the circumstances, the provision of 81 onsite parking spaces will adequately provide for the needs of the development.

#### **Utilities and Servicing**

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The information and plans submitted with DA 55/2023 are sufficient to allow an assessment of the essential service requirements of the proposed development. It is assessed that the overall design of the proposal satisfies the requirements of Clause 6.8 of the BLEP. This is supported by the following assessment of individual services:

 Water - The building has an existing connection to the Council's reticulated water supply main which is located within the road reservation to Osman Street and Church Street. Central Tablelands Water (CTW) is the relevant supply authority. The water demand generated by the proposed use of the existing building (restaurant, bar, lounge and guest recreation space) does not exceed the former use of the building for the purposes of the Blayney Bowling Club. It is assessed that adequate arrangements exist for the provision of a suitable water supply to the proposed development.

 Electricity - The proponent has been in contact with Essential Energy as part of their electricity supply capacity and design review. It is assessed that arrangements can and will be made for the provision of a suitable electricity supply to the proposed development.

Referral of the DA to Essential Energy was also undertaken pursuant to the provisions of State Environmental Planning Policy (Transport and Infrastructure) 2021. A response has been provided with comments incorporated into recommended conditions of consent.

- Disposal of Sewage The existing building to which this proposal relates has an existing connection to the Blayney reticulated sewer system. The Barker Ryan Stewart Sewer Capacity Assessment Report – 62 Osman Street Blayney, dated 14 December 2021 indicates there is capacity in the existing sewer system to accommodate for the anticipated increases in load generated by the proposed development. It is assessed that adequate arrangements exist for the connection of the proposed development to Council's reticulated sewer supply system. A condition of approval is recommended to ensure that appropriate approvals under Section 68 of the LG Act are obtained prior to the carrying out of any new plumbing and drainage works. Headworks contributions are assessed to apply.
- Stormwater An assessment of stormwater management for the proposal has been discussed in detail as part of the assessment of Clause 6.2 of the BLEP. The assessment concluded that adequate arrangements for the disposal of stormwater have been allowed for in the stormwater designs as demonstrated in the Stormwater Management Report prepared by Barker Ryan Stewart dated December 2021 and Barker Ryan Stewart Detailed Civil Engineering Design Drawings dated 14 December 2021.
- Access The proposed development is to gain vehicular access from existing internal access drive that connects to Church Street. Pedestrian access is to be available from Church Street and Osman Street. It is assessed that adequate arrangements have been made for the provision of suitable vehicle and pedestrian access to the development.

Having regard to the above, it is assessed that adequate arrangements can be made for the connection of the proposed development to necessary utilities and infrastructure, with appropriate conditions of consent recommended as necessary.

#### Heritage

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#### Non-Indigenous Heritage

Based on a review of the DA 55/2023 documentation, and an inspection of the site, and advice from -David Scobie Architects, the key issues related to non-indigenous heritage include:

- The proposal seeks to construct alterations and additions to an existing building that is located within the Blayney Heritage Conservation Area.
- The site located on a street block accommodating a number of heritage items including the Royal Hotel (I19), Club House Hotel (C22), National Australia Bank (former CBC Bank and stables) (I23), St James' Catholic Church (former Town Hall) (I24), St Paul's Presbyterian Church and house (I26), Surgery and residence (I28), Shop (Starlight Café) (I30), House (I51), House (I53), Two storey house and cottage (I55) and Residence (former Railway Institute of the Arts) (I109);
- The site is located adjoining Street Trees (I88) on Osman Street; and
- The site is located opposite Old Growth Elm Trees and Hoop Pine Trees Blayney High School (I105)

Clause 5.10 of the BLEP provides the primary framework for assessing the likely impacts of the proposed development in terms of non-indigenous heritage. An assessment of Clause 5.10 of the BLEP has been

included and features in this report. It is assessed the proposed development would not have a significant effect on any heritage item listed in BLEP and / or the Blayney Conservation Area (C1) for the following reasons:

- There is no proposal to physically change, alter, remove or demolish any heritage items (or components therefore) that are listed in Schedule 5 of the BLEP.
- The existing buildings on the development site do not have heritage value.
- The visibility of the proposed development from nearby heritage-listed properties and the public domain is limited due to the screening provided by the approved DA 6/2022 for a motel building.
- Apart from the significant trees in Osman Street covered by listings I88 and I105 in Schedule 5 of the LEP, the land the subject of the proposed development is not immediately adjoined by any heritage item. These significant trees will be unimpacted by the proposal.
- The site is a highly disturbed / modified environment, and it is unlikely that any items of Aboriginal heritage will be discovered at the site. A search of the AHIMS has not identified any items of significance located within the subject property, or within a distance that would warrant further detailed investigations to determine potential impact.
- Building design details of the proposed development, including colours and external finishes, have been assessed as acceptable by Council's Heritage Advisor.

#### Indigenous Heritage

An assessment is required to determine whether the proposed development is likely to impact on Aboriginal place of heritage significance, and whether the proposed development is likely to affect the heritage significance of the place and any Aboriginal object known or reasonably likely to be located at or near the development site.

A visual inspection of the site revealed a highly disturbed / modified environment. Given the highly disturbed nature of the site and known land-use history (associated with the former Blayney Bowling Club), it is assessed to be unlikely that any items of Aboriginal heritage will be discovered during construction processes associated with the proposed development, particularly as the proposal relates to an existing building. According to information submitted with the DA, a search of the AHIMS has not identified any items of significance located within the subject property, or within a distance that would warrant further detailed investigations to determine potential impact. Due diligence assessment as per Section 8 of the Due Diligence Code of Practice for the Protection of Aboriginal Objects in NSW concludes the proposal can proceed without further investigations / permits.

Having regard to the above, the proposed development is assessed to have an acceptable impact in terms of indigenous heritage.

#### Site Design and Internal Design

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The Premise SEE 2023 and plans prepared by Premise in relation to DA 55/2023 show a site layout and building design that is consistent with the prevailing planning controls contained in the BLEP and the BDCP. Conditions of consent are recommended to ensure that adequate plans are provided at CC stage dealing with the following site layout and building design issues:

- An Access Consultant's Report to address compliance with the Commonwealth Disability (Access to Premises Buildings) Standards 2010 (the Premises Standards) which requires that disabled access complying with the current standards be provided from the principal pedestrian entrance to, and within the buildings. Council's Senior Building Surveyor has assessed that a Performance Solution addressing Clause D1P1 of the Building Code of Australia (Volume 1) will be required.
- Hydraulic engineer's design and certification for the proposed fire hydrant/s to show compliance with Australian Standard AS2419.1.
- A Section J energy efficiency report from a suitable qualified and experienced consultant.

 Detailed architectural plans, specifications, structural plans and Structural Engineers certificates that demonstrate compliance with the Building Code of Australia and other relevant Australian Standards relating to the construction of a Class 3 Building.

With appropriate conditioning of the consent, it is expected that the proposed development is capable of operating at 62 Osman Street without generating significant, detrimental or unreasonable impact on the adjoining residential properties.

#### **Natural Hazards**

It is assessed that the site is not affected by natural hazards including flooding or bushfire. On this basis of the above, the proposal is assessed to have an acceptable impact in terms of risk posed by natural hazards.

#### **Technological Hazards**

The information submitted in support of the DA 55/2023 has not identified any technological hazards that are likely to impact the proposal. There is a low likelihood of potential contamination at the site of the proposed development. The use of the land for purposes associated with the former Blayney Bowling Club is understood to have extended as far back as the 1930's. There are no uses of the site which are known to have occurred on the land since the closure of the Bowling Club which give rise to concerns about potential land contamination. On this basis, and considering the proposal relates to an existing building, further investigation in relation to land contamination is considered unnecessary in the circumstances.

#### Construction

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The construction of the development will unlikely create an unacceptable risk to public safety, due to majority of the works completed. A condition of consent is recommended requiring the preparation of a Plan of Management for the remaining construction works. The matters to be addressed by the Plan of Management have been detailed in a previous section of this report but would include measures to prevent unauthorised access to the construction site and minimise other public safety risks, including security and crime prevention.

#### Safety, Security and Crime Prevention

Section 5.18 of the Premise SEE 2023 submitted in support of the DA 55/2023 has addressed the guidelines prepared by the then NSW Department of Urban Affairs and Planning, 2001 which identify four Crime Prevention Through Environmental Design (CPTED) principles to be considered in a Development Application to ensure that developments do not create or exacerbate crime risk.

The proposal has been assessed against the principles of CPTED relating to surveillance. The following aspects of the proposed site and building design will ensure satisfactory compliance:

- Increased pedestrian activity in the area generated by the proposed development.
- Staff presence throughout staffed hours and contracted security patrols with back-to-base alarm systems outside of staffed hours.
- Lack of blank walls, blind corners or concealed areas in the development.
- CCTV directed at high traffic areas, particularly driveways, car park and pedestrian entry.
- Lighting of common areas in compliance with AS4282-1997, including sensor lighting.

The proposal has been assessed against the principles of CPTED relating to access control. The following aspects of the proposed site and building design will ensure satisfactory compliance:

- Existing fencing along the property boundaries, ensuring that access to the site is limited to designated and signed pedestrian and vehicular entry points which are overlooked by CCTV.
- Signage indicated designated entries.
- Secure doors to the building.

The proposal has been assessed against the principles of CPTED relating to territorial reinforcement. The following aspects of the proposed site and building design will ensure satisfactory compliance:

- Fencing denoting the boundary between public and private land.
- Landscape buffers to property boundaries approved under DA 4/2021 under DA 6/2022.
- Signage indicating the use of the site as approved under DA 4/2021 under DA 6/2022.

The proposal has been assessed against the principles of CPTED relating to space management. The following aspects of the proposed site and building design will ensure satisfactory compliance:

- Staff presence throughout staffed hours and contracted security patrols with back-to-base alarm systems outside of staffed hours.
- Ongoing cleaning and maintenance of the site including buildings, spaces between buildings and landscaping.

Having regard to the above, the proposed development is assessed to have an acceptable impact in terms of safety, security and crime prevention.

#### Waste

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Based on a review of the DA documentation, and an inspection of the site, the key issues related to waste include:

- The storage and management of waste produced through the construction phases of the project.
- The storage and management of waste produced from on-going use and occupation of the site for the purposes of a restaurant, bar, lounge and guest recreation area.

In relation to the management of construction waste, any likely impacts are capable of being suitably controlled through proper management of the construction site. Conditions of consent are recommended to ensure that:

- The temporary storage of building materials / wastes does not occur outside of the property boundaries.
- All waste streams are removed off-site by a licensed waste contractor to a lawful point of disposal.

In relation to the management of waste produced from on-going use and occupation of the site, it is noted that an approved arrangement exists under DA 6/2022 and DA 99/2022 for the storage and collection of waste from the land. The approved arrangement will cater for the motel accommodation facilities on the land as well as the proposed restaurant, and generally involves the construction of a screened garbage enclosure used for the storage of waste pending weekly/fortnightly collection by a private waste collection vehicle. The waste storage area is located generally south-east of the existing bowling club building in an area adjoining the on-site car parking area and is accessible to the proposed use and also to a waste collection vehicle.

The proposal will also require the applicant to enter into a Liquid Trade Waste Agreement with Council. Any liquid trade waste generated from the food preparation areas will need to be pre-treated prior to being discharged to the Council's sewerage system. An appropriate condition of consent has been recommended.

Having regard to the above, the proposed development is assessed to have an acceptable impact in terms of waste, with identified issues able to be addressed through conditioning of the consent.

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#### Energy

The Sustainable Buildings SEPP 2022 applies to residential and non-residential projects and provides standards which aim to encourage the design and delivery of sustainable buildings. The Premise SEE 2023 does not provide an assessment of the proposal against the requirements of the Sustainable Buildings SEPP 2022. A BCA Assessment Report and Section J Report have been prepared by Credwell Consulting which addresses the requirements for sustainable buildings. It is assessed that the proposal does not create any inconsistencies with the SEPP.

#### **Noise and Vibration**

Based on a review of the DA 55/2023 documentation, and an inspection of the site, the key issues related to amenity include:

- The likelihood that the proposed development will generate noise and vibration impacts on nearby residential uses as part of the construction phases associated with the proposed development.
- The likelihood that the proposed development will generate noise impacts on nearby residential uses associated with the ongoing use and occupation of the proposed development.

An assessment of the likely impacts has been completed and documented as follows:

- Any noise and vibration impacts experienced by nearby residential uses as part of construction phases associated with the proposed development will be temporary. Potential impacts can be managed by limiting construction activities to appropriate daylight hours and not on Sundays or public holidays. Appropriate conditions of consent have been recommended.
- The potential sources of noise generated by the proposed development (on an ongoing basis) include onsite services and utilities, noise generated by motel residents, motor vehicles and the like.

Having regard to the above, the proposed development is assessed to have an acceptable impact in terms of noise and vibration, with identified issues able to be addressed through conditioning of the consent.

#### Soils

Site investigations have been completed and there is no indication that the site might be affected by geological, soil classification/types or salinity issues that could impact on the proposed development. No significant impacts are assessed on soils.

#### Air and Micro-climate

Air quality and / or micro-climate impacts are unlikely to be key issues associated with the proposed development. Temporary impacts related to dust emission may occur during construction phases associated with the development, however these are capable of being mitigated through appropriate onsite management of construction processes.

#### Flora and Fauna

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The proposal relates to an existing building and does not involve or require the removal of site vegetation.

The site is not mapped in BLEP 2012 as containing sensitive terrestrial biodiversity. Section 1.7 of the EPA Act identifies that Part 7 of the Biodiversity Conservation Act 2016 has effect in connection with terrestrial environments, and that Part 7A of the Fisheries Management Act 1994 has effect in connection with aquatic environments.

Due to the nature and scale of the proposed development, the urban setting of the land of the development site, and the site history associated with the former use of the land (Bowling Club greens), it is assessed that the proposed development is not likely to have a significant effect on any threatened species, populations or ecological communities or their habitats, as shown in Table 3.

#### Table 3 – Test of Significance

Consideration	Assessment Comment
(a) in the case of a threatened species, whether the proposed development or activity is likely to have an adverse effect on the life cycle of the species such that a viable local population of the species is likely to be placed at risk of extinction,	The potential for the site to significantly affect threatened species is assessed to be low, due to the absence of required habitat. The proposal is therefore unlikely to have an adverse effect on the life cycle of these species such that a viable local population of the species is likely to be placed at risk of extinction. The potential for the site to significantly affect an endangered ecological community is assessed to be low. The site is not observed to contain the necessary habitat for endangered ecological communities.
<ul> <li>(b) in the case of an endangered ecological community or critically endangered ecological community, whether the proposed development or activity—</li> <li>(i) is likely to have an adverse effect on the extent of the ecological community such that its local occurrence is likely to be placed at risk of extinction, or</li> <li>(ii) is likely to substantially and adversely modify the composition of the ecological community such that its local occurrence is likely to be placed at risk of extinction,</li> </ul>	As above.
<ul> <li>(c) in relation to the habitat of a threatened species or ecological community—</li> <li>(i) the extent to which habitat is likely to be removed or modified as a result of the proposed development or activity, and</li> <li>(ii) whether an area of habitat is likely to become fragmented or isolated from other areas of habitat as a result of the proposed development or activity, and</li> <li>(iii) the importance of the habitat to be</li> </ul>	The site is not a declared area of outstanding biodiversity value. The proposal would not significantly increase the
(iii) the importance of the habitat to be removed, modified, fragmented or isolated to the long-term survival of the species or ecological community in the locality,	prevalence or risk of key threatening process. There are no construction activities or changes to land- use that might threaten habitat for endangered ecological communities.
<ul><li>(d) whether the proposed development or activity is likely to have an adverse effect on</li></ul>	<b>.</b>

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any declared area of outstanding biodiversity value (either directly or indirectly),

(e) whether the proposed development or activity is or is part of a key threatening process or is likely to increase the impact of a key threatening process.

Due to the nature and scale of the proposed development, the urban setting of the land of the development site, and the site history associated with the former use of the land (Bowling Club greens), it is assessed that the proposed development is not likely to have a significant effect on any threatened species, populations or ecological communities or their habitats.

#### Social and Economic Impact in the Locality

An assessment of potential impacts of the proposed development has been undertaken with regards to the scoping methodology outlined in the Social Impact Assessment Guideline 2017 (SIA Guideline), published by the Department of Planning and Environment. Table 4 provides an assessment of the proposed development in the SIA Guideline.

Matters	Key Links to Social Impacts	Risk of Impact without mitigation	Nature of impact	Explanation
Amenity				
Acoustic	Way of life;	Unlikely	Negative	Noise emissions are unlikely to impact on nearby sensitive receptors.
Visual	Surroundings	Likely	Negative	Subject to appropriate conditioning of the consent, the proposal is assessed to have an acceptable impact in terms of views. impact on views.
Odour	Surroundings	Unlikely	Negative	The proposal is not expected to produce odour.
Microclimate	Surroundings	Unlikely	Nil	The proposal will not significantly impact microclimate.
Access	·			
Access to property	Way of life;	Unlikely	Nil	The proposal will not impact on access to neighbouring properties.
Utilities and public transport	Access to infrastructure, services, and facilities;	Unlikely	Negative	The proposal will be connected to appropriate utilities and services. Existing public transport options in Blayney will be available to the proposed development.

Table 4 – Social Impact Assessmer	it
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Matters	Key Links to Social Impacts	Risk of Impact without mitigation	Nature of impact	Explanation	
Road and rail	Personal and property rights.	Likely	Negative	The proposal gains access to the public road network. Upgrades to public roads are assessed to be necessary in order to mitigate the likely impacts of the proposal on local traffic conditions.	
Built Environment					
Public domain	Community;	Unlikely	Nil	The proposal will not impact the public domain as it will be located on private land.	
Public infrastructure	Access to infrastructure, services, and facilities;	Unlikely	Nil.	The proposal will not preclude public access to public infrastructure.	
Other built assets	Surroundings; Personal and property rights	Unlikely	Nil	The proposal will not preclude public access to built assets.	
Heritage					
Natural	Way of life;	Unlikely	Nil	The proposal will not impact natural heritage values.	
Cultural	Community;	Unlikely	Nil	The proposal will not impact on cultural values in the public domain.	
Aboriginal culture	Culture;	Likely	Negative	The proposal will implement the unexpected finds procedure at construction phase.	
Built	Surroundings.	Likely	Negative	The proposal has been designed to address Council's planning requirements relating to the preservation of the heritage-listed cottage and heritage values within the Millthorpe Conservation Area.	
Community	Community				
Health	Health and wellbeing;	Unlikely	Nil.	The proposal will not impact on public health and well- being.	
Safety	Surroundings	Likely	Negative	The proposal has satisfied as assessment against for the four key principles under the CPTED guidelines.	
Services and facilities	Way of life, Access to infrastructure,	Unlikely	Nil	The proposal does not impact access to public services or facilities.	

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Matters	Key Links to Social Impacts	Risk of Impact without mitigation	Nature of impact	Explanation
	services, and facilities;			
Cohesion, capital, and resilience	Way of life; Community; Culture	Unlikely	Nil.	The proposal will not impact community cohesion or resilience.
Housing	Way of life, Personal and property rights.	Likely	Positive	The proposal will provide increased opportunities for housing accommodation in Millthorpe.
Economic				
Natural resource area	Way of life;	Unlikely	Negative.	The proposal will not significantly impact the natural resource base.
Livelihood	Surroundings;	Likely	Positive	The proposal will provide employment opportunities for the local community throughout the construction phases
Opportunity cost	Personal and property rights	N/A	Nil	The net benefit to the community outweighs the utilisation of building costs and resources.
Air				·
Air emissions.	Surroundings	Likely.	Negative	The proposal is unlikely to generate unacceptable impacts on air quality. Conditions have been recommended to mitigate impacts.
Biodiversity				
Native vegetation and fauna	Surroundings	Unlikely	Negative	The proposal is unlikely to generate unacceptable impacts on biodiversity.
Land				
Stability/structure, land capability, topography	Surroundings	Unlikely.	Negative	Minimal impacts are likely. Conditions have been recommended to mitigate impacts.
Water				
Quality, availability, hydrological flows	Surroundings	Likely.	Negative	Soil and water impacts have been assessed to be within acceptable limits. Conditions have been recommended to

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Matters	Key Links to Social Impacts	Risk of Impact without mitigation	Nature of impact	Explanation
Acoustic	Way of life;	Unlikely	Negative	Noise emissions are unlikely to impact on nearby sensitive receptors.
Visual	Surroundings	Unlikely	Negative	The proposal has been designed to address Council's planning requirements relating to the preservation of streetscape character and heritage values within the Blayney Conservation Area.
Odour	Surroundings	Unlikely	Negative	The proposal is not expected to produce odour.
Microclimate	Surroundings	Unlikely	Nil	The proposal will not significantly impact microclimate.
Access				
Access to property	Way of life;	Unlikely	Nil	The proposal will not impact on access to neighbouring properties.
Utilities and public transport	Access to infrastructure, services and facilities;	Unlikely	Negative	The proposal will be connected to appropriate utilities and services. Existing public transport options in Blayney will be available to the proposed development.
Road and rail	Personal and property rights.	Unlikely	Negative	The proposal gains access to the public road network, which has been assessed to be capable of accommodating the likely increases in traffic associated with the development.
Built Environment		1		
Public domain	Community;	Unlikely	Nil	The proposal will not impact the public domain as it will be located on private land.
Public infrastructure	Access to infrastructure, services and facilities;	Unlikely	Nil	The proposal will not preclude public access to public infrastructure.
Other built assets	Surroundings; Personal and	Unlikely	Nil	The proposal will not preclude public access to built assets.

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Matters	Key Links to Social Impacts	Risk of Impact without mitigation	Nature of impact	Explanation
	property rights			
Heritage				
Natural	Way of life;	Unlikely	Nil	The proposal does not impact on natural heritage values.
Cultural	Community;	Unlikely	Nil.	The proposal will not impact on cultural values in the public domain.
Aboriginal culture	Culture;	Likely	Negative	The proposal will implement the unexpected finds procedure at construction phase.
Built	Surroundings.	Likely	Negative	The proposal has been designed to address Council's planning requirements relating to the preservation of streetscape character and heritage values within the Blayney Conservation Area.
Community				
Health	Health and wellbeing;	Unlikely	Nil.	The proposal will not impact on public health and well- being.
Safety	Surroundings	Likely	Negative	The proposal has satisfied as assessment against for the four key principles under the CPTED guidelines.
Services and facilities	Way of life, Access to infrastructure, services and facilities;	Unlikely	Nil	The proposal does not impact access to public services or facilities.
Cohesion, capital and resilience	Way of life; Community; Culture	Unlikely	Nil.	The proposal will not impact community cohesion or resilience.
Housing	Way of life, Personal and property rights.	Likely	Positive	The proposal will provide increased opportunities for visitor and tourist accommodate in Blayney Shire.
Economic				

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Matters	Key Links to Social Impacts	Risk of Impact without mitigation	Nature of impact	Explanation
Natural resource area	Way of life;	Unlikely	Negative.	The proposal will not significantly impact the natural resource base.
Livelihood	Surroundings;	Likely	Positive	The proposal will provide employment opportunities for the Blayney community.
Opportunity cost	Personal and property rights	N/A	Nil	The net benefit to the community and region outweighs the utilisation of building costs and resources.
Air				
Air emissions.	Surroundings	Unlikely	Negative	The proposal is unlikely to generate unacceptable impacts on air quality.
Biodiversity				
Native vegetation and fauna	Surroundings	Unlikely	Negative	Vegetation clearing is not proposed on site.
Land				
Stability/structure, land capability, topography	Surroundings	Unlikely.	Negative	While the proposal will result in minimal land disturbance.
Water				
Quality, availability, hydrological flows	Surroundings	Unlikely	Negative	Soil and water impacts have been assessed to be within acceptable limits.

Considering the proposal in the context of the existing neighbourhood as well as the previously addressed issues relating to amenity, traffic, heritage, safety, security and crime prevention, the proposal would be unlikely to have an unacceptable impact on land-uses, residents or the environment within or surrounding the site.

As a result, adverse socio-economic impacts are assessed to be within acceptable limits and the proposal would result in positive impacts for the wider Blayney community.

#### Construction

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The SEE submitted in support of the DA contains the following statements relating to construction issues.

- All construction work will be undertaken in accordance with the BCA and Councils conditions of consent.
- Construction impacts are not anticipated to have an adverse impact on the locality. Works would
  occur during daytime hours, thus not impacting on the local amenity. The site would have
  temporary containment fencing erected and signage to warn and exclude the public from entering
  the site during the construction phase.

- Erosion and sedimentation control measures would be developed and implemented during construction to minimise any erosion and sedimentation at the site. All disturbed areas rehabilitated as soon as practical.
- All waste generated during construction would be taken and disposed of at Council's Waste Disposal Facility.
- All construction machinery would be fitted with appropriate muffling devices to limit noise generation during construction. The construction period would be for a limited period, and thus any impacts would be limited to that time frame.

The above statements are supported. It is assessed that the proposed development would have an acceptable impact in terms of construction processes, subject to the imposition of normal conditions to control hours of construction activity, soil erosion and sediment control and waste disposal.

#### **Cumulative Impacts**

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Cumulative impact assessment is generally a measure of the following matters:

- The alignment of the project with the strategic planning framework for the area, having regard to any relevant legislation, plans, policies or guidelines.
- The project and other potentially relevant future projects that may be developed over the same time period as the project.

The key matters that could be materially affected by the cumulative impacts of these projects including important natural resources, culturally significance resources, key infrastructure and industries, sensitive land-use zones, local communities and threatened species.

An assessment of the likely cumulative impacts has been completed and documented as follows:

- The proposed development is located within the E1 Local Centre Zone and R1 General Residential zones. The use of the land for the purposes of a restaurant, bar, lounge and guest recreation area is permissible in the B2 zone with consent.
- The proposed development is assessed to be consistent with the relevant matters for consideration under BLEP and the BDCP, except that the proposal does not comply with standards relating to on-site car parking provision. The rate of proposed off-street car parking is capable of supporting the proposed and approved uses of the land.
- Council's strategic planning for the Blayney Township has not identified future uses for this area of Blayney that are likely to be incompatible with the proposed development.
- Further intensification of use at the site is unlikely to be practically achievable due to limitations with undeveloped site area.
- Environmental impact assessment has been completed for the proposed development (and detailed in previous sections of this report) and no significant impacts have been identified.

Overall, it is assessed that the proposal is likely to make a neutral / positive contribution to the environment. The proposal is considered compatible with the site and its surrounds and does not contribute to having a significant cumulative impact. Having regard to the above, the proposed development is assessed to have an acceptable cumulative impact.

#### 7.8. Section 4.15(1)(c) The suitability of the site for the development

The assessment work presented in the previous sections of this report confirm that the site has the capacity to support the proposed development without creating adverse impact on the site or on adjoining and nearby land-uses.

The assessment work presented in the previous sections of this report confirm that the site has the capacity to support the proposed development without creating adverse impact on the site or on adjoining and nearby land-uses. Conditions of consent are recommended to ensure that impacts appropriately mitigated.

#### 7.9. Section 4.15(1)(d) Any submissions made in accordance with this Act or the regulations

The processing of DA 55/2023 has involved notification and public exhibition of the proposed development from 9 November 2023 to 23 November 2023 in accordance with the Blayney Community Participation Plan 2020.Five (5) submissions were received as a result of this engagement on the DA. An assessment of the issues raised in the submissions has been completed detailed in Table 5, with copies of each submission included in Attachment B to this report.

#### Table 5 – Public Consultation - Submissions Evaluation

Summary of issue raised	Assessment comment / evaluation
Submission 1 - dated 23 November 2023	
Objects to the Development Application and Building Information Certificate on the following basis: - The development must comply with	The assessment of BCA issues has been well-documented in the DA 55/2023 documentation, and includes a number of reports by specialist consultancy reports as follows:
the building standards and to be an attraction to town.	<ul> <li>Transportable Building Certification - Proposed</li> <li>Development, 62 Osman Street, Blayney NSW 2799,</li> <li>prepared by Calare Civil Consulting Engineers, dated</li> </ul>
prepared by Credwell states:	1 September 2023.
<ul> <li>They were not given all information needed to undertake an accurate report into the fire safety of the</li> </ul>	<ul> <li>BCA Assessment Report (BCA 2022) for DA Lodgement, prepared by Credwell Consulting Pty Ltd, dated 18 October 2023.</li> </ul>
<ul> <li>buildings.</li> <li>The (modular) buildings built by Ausco</li> </ul>	<ul> <li>Section J Report, prepared by Credwell Consulting Pty Ltd, dated 6 October 2023.</li> </ul>
as portable Modular buildings have not been designed to be used as Class 3 buildings.	<ul> <li>Fire Engineering Report 62 Osman Street, Blayney, prepared by Performance Based Consulting Pty Ltd, dated 5 August 2024.</li> </ul>
<ul> <li>The Fire Rating Level (FRL) of the Type 2 class construction buildings has not been verified and cannot be confirmed to comply with the</li> </ul>	Council has engaged Jensen Hughes to undertake a technical review of the findings of BCA reports to ensure no further issues apply.
<ul> <li>requirements of BCA.</li> <li>The FRL of walls between and bounding of a single occupant unit is</li> </ul>	Notwithstanding this technical review a general review of planning-related matters has been undertaken to provide a meaningful response to the issues raised in the submission.
required to be 60/60/60 for Class 3 buildings and there is no verified fire rated bounding construction between SOU rooms.	It is important that each of the reports prepared by Credwell and Calare Civil are read in the context of its date of publication and the specific purpose in which it was written, as the BCA assessment work generally
<ul> <li>There is no fireproof wall between separating rooms. The existing walls have no fireproof board Flooring is a</li> </ul>	'builds' to a point where conclusions can be made about compliance matters. In this regard the dates of reports and their general purpose is provided as follows:
lower. As rated than recommended by BCA.	<ul> <li>Credwell Fire Safety Strategy (Rev A dated 1/08/23 and Rev B dated 8/08/23-to provide a broad</li> </ul>
<ul> <li>Questions raised about compliance with the time specified of (seven seconds) to be able to leave a room in an emergency. In particular, questions</li> </ul>	assessment of fire safety design features of the development and to set the strategy for detailed analysis and reporting.

Summary of issue raised	Assessment comment / evaluation
how you put a time on emergency exit	<ul> <li>Calare Civil Transportable Building Certification</li></ul>
times when unknown people's lives	(1/09/2023)- to report on the structural condition
and health are at risk when every	and adequacy of the existing transportable building
emergency is different.	structures at the site and their compliance with
The BCA Compliance Report prepared by	current Australian Standards, particularly AS1170.2
Credwell states:	and AS1170.3.
<ul> <li>They have again not been given all information for BCA.</li> <li>At C2 D11 C1.10 Fire Hazard properties, they state again they have not enough information for fire hazard because buildings were made in 2012</li> </ul>	<ul> <li>Credwell Section J Report (6/10/2023) - to provide requirements for energy the minimum requirements specified in Section J Energy Efficiency in the NCC.Vol 1 for commercial projects.</li> <li>Credwell BCA Assessment Report (18/10/23)- to provide an overview of buildings and compliance</li> </ul>
and have no documentation to	matters, and to identify any performance solutions
confirm fire hazard properties have	required where the design deviates from BCA
been complied with.	Deemed to Satisfy (DtS) provisions.
<ul> <li>They state that the rooms must be</li></ul>	<ul> <li>Fire Engineering Report (Revision F) - to provide</li></ul>
60/60/60 fire rated with bounding	performance solutions in order to satisfy the BCA
walls to comply, with an inspection	Performance Requirements, including stakeholder
stating they do not comply.	comments.
The Transporting Building Certification prepared by Calare Civil, dated 1 September 2023 notes the following:	The relatively high level of detail provided in the above reports has been important in allowing Council to determine general BCA compliance issues at DA Stage as well as whether it should issue a Building Information
<ul> <li>They could not do a rigorous</li></ul>	Certificate for works already undertaken at the site.
inspection of the walls and bracing	Whilst there are some statements in the Credwell report
could not be completed.	providing qualifications relating to limitations of
<ul> <li>Tie down of units clearly states in BCA</li></ul>	assessment methods used, it is clear that the proposed
that a turn buckle must be used in	buildings can be upgraded to comply with the BCA fire
conjunction with a chain to hold down	safety provisions and Section J Energy Efficiency.
Modular or Transportable buildings,	The proposed deviations from the BCA Deemed to Satisfy
with none on the units displaying such	(DtS) provisions are clearly articulated in the Credwell
as they sit at the site. The drawings of	BCA Assessment Report, dated 18 October 2023 as well
the foundations only using a chain and	as the Performance Based Consulting Fire Engineering
a turn buckle to make unit to put	Report, dated 5 August 2024 relating to a number of
pressure on foundation so unit when	performance solutions relating to C1P1 - Structural
people inside moving around it	stability during a fire, C1P2 - Spread of fire and E2P1 -
doesn't rock the unit and foundations	Automatic warning for sleeping occupants.
collapse.	The Final Fire Engineering Report was also referred to
<ul> <li>They could not do a rigorous</li></ul>	NSW Fire & Rescue who have given their conditional
inspection of the walls and bracing	support subject to:
could not be completed.	All additional fire safety measures are to be installed as
<ul> <li>The Section J report prepared by Credwell,</li> <li>dated 6 October 2023 notes the following:</li> <li>The occupational density was calculated based on table D2D 18 of BCC2022 which is consistently used throughout modelling the design.</li> </ul>	per Table 12 of PBC's Fire Engineering Report SYD000681 FER01: i. Each modular building must be provided with a detection system in accordance with Part E2 and AS 1670.1:2018. ii. A sprinkler head must be installed in each of the bedrooms in accordance with FPAA101D.
<ul> <li>The requirement for Type 2 class construction buildings (Hostels, Hotels and Motels) is 15m<sup>2</sup> per person, with all rooms below this requirement.</li> </ul>	iii. Portable fire extinguishers must be provided throughout each modular building in accordance with BCA Clause E1D14.

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Summary of issue raised	Assessment comment / evaluation
	Review of the DA 55/2023 shows the date of the neighbour notification letter was first published on 9 November 2023 and again on 16 November 2023 in the Blayney Chronical, with submissions invited up until 5.00pm Thursday 23 November 2023. Council's neighbourhood notification letter was dated 8 November 2023. All evidence indicates the neighbour notification and advertising periods applied to DA 55/2023 were consistent with (actually exceeded) the minimum 14 days prescribed in the Blayney Shire Council Community
	Participation Plan 2020.
Submission 2 - dated 19 November 2023	
Not against the proposed idea of a Motel or Hotel to be placed on old bowling club site as long as it complies to the building standards.	The assessment of BCA issues has been well-documented in the DA 55/2023 documentation, and includes a number of reports by specialist consultancy reports as follows:
The Motel or Hotel must be made to comply to BCA and built to be an attraction to the town. Questions whether the new DA apply	<ul> <li>Transportable Building Certification - Proposed Development, 62 Osman Street, Blayney NSW 2799, prepared by Calare Civil Consulting Engineers, dated 1 September 2023.</li> </ul>
(complies), when Credwell reporting states: – They were not given all information	<ul> <li>BCA Assessment Report (BCA 2022) for DA</li> <li>Lodgement, prepared by Credwell Consulting Pty Ltd,</li> <li>dated 18 October 2023.</li> </ul>
needed to undertake an accurate report into fire safety of buildings.	<ul> <li>Section J Report, prepared by Credwell Consulting Pty Ltd, dated 6 October 2023.</li> </ul>
<ul> <li>Portable modular buildings have not been designed to be used as Class 3 buildings.</li> </ul>	<ul> <li>Fire Engineering Report 62 Osman Street, Blayney, prepared by Performance Based Consulting Pty Ltd, dated 5 August 2024.</li> </ul>
<ul> <li>FRL for Type 2 construction have not been verified and cannot be confirmed to comply with the BCA and there is no verified fire rated bonding</li> </ul>	Blayney Shire Council has engaged Jensen Hughes to undertake a technical review of the findings of BCA reports to ensure no further issues apply.
construction / fire proof walls between rooms.	Notwithstanding this technical review a general review of planning-related matters has been undertaken to provide a meaningful response to the issues raised in the
Questions raised about compliance with the time specified in the BCA (seven seconds) to be able to leave a room in an emergency. In particular, questions how you put a time on emergency exit times when unknown people's lives and health are at risk when every emergency is different.	submission. It is important that each of the reports prepared by Credwell and Calare Civil are read in the context of its date of publication and the specific purpose in which it was written, as the BCA assessment work generally 'builds' to a point where conclusions can be made about compliance matters. In this regard the dates of reports and their general purpose is provided as follows:
Notes the Transporting Building Certification prepared by Calare Civil, dated 1 September 2023 states a rigorous inspection of the walls and bracing could not be completed. Has a problem with the drawing of	<ul> <li>Credwell Fire Safety Strategy (Rev A dated 1/08/23 and Rev B dated 8/08/23-to provide a broad assessment of fire safety design features of the development and to set the strategy for detailed analysis and reporting.</li> </ul>
foundations only using a chain a (and) turn buckle, when the BCA states that a	<ul> <li>Calare Civil Transportable Building Certification (1/09/2023)- to report on the structural condition</li> </ul>

Summary of issue raised	Assessment comment / evaluation
<pre>summary of issue raised turn buckle must be used in conjunction with a chain to hold down Modular or Transportable buildings. States some of the room sizes do not meet the BCA requirements, as the occupational density was calculated based on Table D2D 18 of BCC 2022 which is consistently used throughout modelling the design, and not Type 2 class construction buildings (Hostels, Hotels and Motels) which requires 15m<sup>2</sup> per person, with all rooms below this requirement. States there is more to find in this document on how it does not comply to BCA, with the document being too large to undertake a detailed submission. Council has not followed the guidelines in advertising this DA, with notice of the proposal only being placed in the local paper on 16 November 2023 giving residents not mailed a notice of the DA only 6 days to prepare a submission. Questions whether the Council is going to get external help on this DA from Planning and Environment department / expert company that investigates.</pre>	<ul> <li>Assessment comment / evaluation         <ul> <li>and adequacy of the existing transportable building structures at the site and their compliance with current Australian Standards, particularly AS1170.2 and AS1170.3.</li> <li>Credwell Section J Report (6/10/2023) - to provide requirements for energy the minimum requirements specified in Section J Energy Efficiency in the NCC.Vol 1 for commercial projects.</li> <li>Credwell BCA Assessment Report (18/10/23)- to provide an overview of buildings and compliance matters, and to identify any performance solutions required where the design deviates from BCA Deemed to Satisfy (DtS) provisions.</li> <li>Fire Engineering Report (Revision F) - to provide performance solutions in order to satisfy the BCA Performance Requirements, including stakeholder comments.</li> </ul> </li> <li>The relatively high level of detail provided in the above reports has been important in allowing Council to determine general BCA compliance issues at DA Stage as well as whether it should issue a Building Information Certificate for works already undertaken at the site.</li> <li>Whilst there are some statements in the Credwell reports provisions and Section J Energy Efficiency.</li> </ul> <li>The proposed deviations from the BCA Deemed to Satisfy (DtS) provisions are clearly articulated in the Credwell BCA Assessment Report, dated 18 October 2023 as well as the Performance Based Consulting Fire Engineering Report, dated 5 August 2024 relating to a number of performance solutions from the BCA Deemed to Satisfy (DtS) provisions are clearly articulated in the Credwell BCA Assessment Report, dated 18 October 2023 as well as the Performance Based Consulting Fire Engineering Report, dated 19 Couper 2023 as vell as the Performance Based Consulting Fire Engineering Report SVD000681-FER01:         <ul> <li><i>Lach modular building must be provided with a detection systemin accordance with PAA10</i></li></ul></li>

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Summary of issue raised	Assessment comment / evaluation
	October 2023 as well as measures proposed to control noise to acceptable levels during sleeping periods, including signage to be posted in common areas and rooms regarding noise creation and closing ensuite doors.
	The Calare Civil Consulting Engineers report dated 1 September 2023 also provides some qualifications relating to limitations around access to certain aspects of the structures (as built) such as internal walls and bracing. Notwithstanding, Calare Civil has provided advice that modular buildings are considered to be structurally adequate and fit for purpose. They also advise they are in receipt of the inspection certificate by Peter Mackay (from Design Construct Industries) stating Ausco buildings had been constructed in accordance with the relevant codes.
	Calare Civil have also stated that the diaphragm effect of the wall sheeting of the buildings provides adequate bracing meeting the required capacity for the subject property. Calare Civil have also inspected the tie-down chains of all of the modular buildings and have found them to be structurally adequate to prevent the buildings from moving off their foundations and comply with current Codes.
	In relation to the occupational density mentioned in the Section J Report, this is only used for modelling purposes and is not a mandatory requirement. It should be noted that the BCA no longer contains any provisions for minimum room sizes in regard to minimum floor areas required for habitable rooms.
	Table D2D18 is advisory in the absence of a more suitable means of determining the anticipated number of persons to be accommodated in a building and it is not a minimum floor area requirement. In the case of the Motel, the number of persons is determined by counting the number of beds to be provided in the building, which is shown on the plans. There is no minimum floor area requirement in the Building Code of Australia. Table D2D18 has been used by Credwell in their Section J Energy Efficiency modelling as an estimate of the occupancy density for the buildings. It is used in energy efficiency modelling, and it is a more conservative approach. Council officers have discussed this issue with Allan Harriman BCA Consultant with lensen Hughes and
	Allan Harriman, BCA Consultant with Jensen Hughes and he concurs with this interpretation. Whilst there are no minimum room sizes in the BCA, there is a provision in the Public Health Regulation requiring 5.5 sq metres for each person sleeping in a room and a condition will be proposed to reflect this if council provides development consent. Council's Senior Building Surveyor has reviewed the DA 55/2023 documentation, as well as the technical assessment report prepared by Jensen Hughes, and raises no objections in relation to the proposal.

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Summary of issue raised	Assessment comment / evaluation
	In relation to comments that Council has not followed the guidelines in the advertising of DA 55/2023 it is noted that the relevant guideline is the Blayney Shire Council Community Participation Plan 2020.A section of this plan provides guidelines on the community participation for planning documents, including advertising and neighbour notification of development applications.
	In accordance with B2 in the Appendix to the plan, the notification period is 14 days (including weekends and public holidays) commencing from the day following the date of the notification letter. In accordance with B3 in the Appendix to the plan, the advertising period is 14 days (including weekends and public holidays) commencing from the date on which the public exhibition notice was first placed in the Local Newspaper. Review of the DA 55/2023 shows the date of the neighbour notification letter was first published on 9 November 2023 and again on 16 November 2023in the Blayney Chronical, with submissions invited up until 5.00pm Thursday 23 November 2023. Council's neighbourhood notification letter was dated 8 November
	2023. All evidence indicates the neighbour notification and advertising periods applied to DA 55/2023 were consistent with (actually exceeded) the minimum 14 days prescribed in the Blayney Shire Council Community Participation Plan 2020.
Submission 3 - dated 20 November 2023	
Supports DA 55/2023, having worked on mining and infrastructure projects for over 20 years and knowing how beneficial businesses like accommodation can be. People who don't want to work at a mine can still benefit from the industry through businesses like this. Accommodation businesses also keep people in town spending money, whether it be buying food and drinks or getting a haircut. It would be a real pity for Blayney if those 100 people had to stay in another town and spend their money there.	An assessment of socio-economic impacts is detailed in Table 4 of this report. The assessment concludes the proposal would result in positive impacts for the wider Blayney community, which is reflected in this submission.
Submission4 - dated 20 November 2023	
Support for the proposed development of the Blayney Motel. As Project Director of the McPhillamys Gold Project, I believe that the proposed 102-room Blayney Motel development would be a great boost to Blayney's economy. The benefits will come to the town regardless of whether the occupant is McPhillamys or another local project. Accommodating 100 project staff in Blayney would bring	An assessment of socio-economic impacts is detailed in Table 4 of this report. The assessment concludes the proposal would result in positive impacts for the wider Blayney community, which is reflected in this submission.

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Summary of issue raised	Assessment comment / evaluation
numerous benefits to the local economy. Unfortunately, if those 100 employees can't stay in Blayney, the benefits will go to Orange and Bathurst. Regis would like to see Council give the Blayney Motel project the approvals required to complete construction of the project.	
Submission 5 – undated	
Support the proposed development of the Blayney Motel, as the project will bring significant community benefits, including increased accommodation options for visitors, job creation and economic growth and enhancing the appeal and attractiveness of the region.	An assessment of socio-economic impacts is detailed in Table 4 of this report. The assessment concludes the proposal would result in positive impacts for the wider Blayney community, which is reflected in this submission.

The applicant provided a response to submissions (attached). The initial assessment did not support some of the comments in this response, primarily in relation to BCA compliance. However, these matters were subsequently addressed through the peer review; fire engineering report and Fire and Rescue response.

A summary of the main findings of community participation in relation to DA 55/2023 Plan 2020 is as follows:

- DA55/2023 has been notified and exhibited in accordance with Council policy requirements.
- Five submissions were received in relation to the proposed development.
- The issues raised in the submissions have been evaluated individually. The issues do not require amendment to the proposed designs and can be addressed through appropriate conditions.
- Concerns raised about Council not following the guidelines in advertising this DA are not founded, with all evidence indicating the neighbour notification and advertising periods applied to DA 55/2023 were consistent with (actually exceeded) the minimum 14 days prescribed in the Blayney Shire Council Community Participation Plan 2020.
- There are no grounds to withhold determination of DA 55/2023 on the assessment / evaluation of the issues raised in submissions received.

#### 7.10. Section 4.15(1)(e) The Public Interest

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The development complies with the BLEP and Blayney DCP. There are no specific policy statements from either Federal or State Government that are relevant to the proposal, nor any planning studies or strategies that need to be taken into account. There are no covenants, easements or agreements that affect the proposal in the long term. The proposal is assessed to pose no significant detrimental impacts on the public interest.

The public exhibition and notification of DA 55/2023 generated public interest. An evaluation of the issues, comments and concerns raised in submissions has been completed in Table 5. There are no outstanding public submissions that have not been assessed. Copies of submissions received are included in Attachment A to this report.

The proposal is generally consistent with relevant policy statements, planning studies and guidelines.

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# 8. CONTRIBUTIONS ASSESSMENT

An assessment has been completed to determine whether the proposed development triggers the requirement for payment of developer contributions under the relevant plans of Council and / or Central Tablelands Water, including:

- Blayney Local Infrastructure Contributions Plan 2022.
- Blayney Shire Council Development Servicing Plan for Sewerage Services.

This assessment is detailed in the following sections:

#### 8.1. Blayney Local Infrastructure Contributions Plan 2022

In accordance with Section 5.1 of the Blayney Local Infrastructure Contributions Plan 2022, the plan applies to any development application lodged on or after the date this plan commenced.

The Blayney Local Infrastructure Contributions Plan 2022 identifies that Section 7.12 levies apply to development that is not Type A (residential) or Type B (Heavy Haulage) development and which also has a proposed cost of development in excess of \$100,000. The monetary contribution rates for new development types are shown in Table 6 below:

#### Table 6 – Contribution Rates

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Contribution Type / Development Type	Levy Rate		
Section 7.11 Contributions			
Residential accommodation on development resulting in additional dwellings or lots	\$9,296 per dwelling or lot.		
Heavy Haulage Development	\$0.52 per ESA per km of regional sealed road \$0.66 per ESA per km of local sealed road \$0.52 per ESA per km of local gravel road		
Section 7.12 Levies			
Where the proposed cost of carrying out the development:			
Is more than \$100,000, and up to and including \$200,000.	0.5% of that cost.		
Is more than \$200,000	1% of that cost.		

Having regard to Table 6, the proposed development is liable for the payment of a Section 7.12 levy calculated at 1% of the total cost of development. An appropriate condition of consent has been included in the recommendation to this report requiring payment of this levy prior to the issue of a Final Occupation Certificate.

#### 8.2. Blayney Shire Council Development Servicing Plan for Sewerage Services

The Blayney Shire Council Development Servicing Plan for Sewerage Services 2020 allows Council to levy a monetary contribution for the provision of sewerage services, proportional to the demands generated by new development.

A Sewer Assessment Capacity Report was prepared by Barker Ryan Stewart, dated 15 December 2021 in support of the previous approvals granted for motel accommodation at 62 Osman Street (DA4/2022, DA 6/2022 and DA 99/2022). The Sewer Assessment Capacity Report performed a calculation of the likely increase in equivalent tenements (ET's) associated with the two motel facilities having regard to any credits attached to the former use of the site for purposes associated with the Blayney Bowling Club.

Council's Design and Development Engineer has performed a recalculation of the net ET liability for the proposed development. The assessment findings show that the total additional ETs generated by the proposed development is 49.81 ET's, which has already been accounted for as conditions of consent applying to DA 6/2022. No conditions requiring additional charges are required to be included in this application.

#### 8.3. Central Tableland Water Headworks Contribution Plan

Based on the calculations performed in Section 8.2 relating to DSP charges for sewerage services, it is unlikely that the proposed development will require payment of DSP charges for water. However, the relevant water supply authority is Central Tablelands Water. An appropriate condition of consent has been recommended requiring the payment of any necessary charges to Central Tablelands Water prior to the issue of the Occupation Certification for the proposed development.

# 9. Internal Referral

Development Application No. 55/2023 was referred to Council's Design and Development Engineer for review, and the following comments were received:

- As the development does not significantly impact council infrastructure, infrastructure related conditions are minimal.
- Infrastructure Services accepts justification of variation to parking requirements of BDCP, as detailed in this assessment report.
- Applicant is to obtain a Liquid Trade Waste Agreement prior to issue of Occupation Certificate.

Development Application No. 55/2023 was also referred to Council's Senior Building Survey for review, and the following comments were received:

- An accessible path of travel to the proposed alterations will be required from the principal pedestrian entrance in accordance with the requirements of the Premise Standards.
- Due to the age of the building, it will be difficult to fully comply with 'AS1428.1 Design for access and mobility', so a Performance Solution will be required to be submitted prior to the issue of the Construction Certificate.
- Apart from the comments above, no objections are raised in relation to the proposal, subject to the imposition of recommended conditions.

Development Application No. 55/2023 was also referred to Council's Heritage Advisor for review, with general support for the proposal. The comments received have been documented in relevant sections of this report and considered as part of the overall assessment.

The comments received as a result of the internal referral of the Development Application have been noted and considered as part of the preparation of this assessment report. Where agreed, recommended conditions have also been incorporated into the draft notice of determination. A copy of the referral advice is included in Attachment B to this assessment report.

# 10. Summary / Conclusion / Recommendation

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Development Application No. DA 55/2023 is for hotel / motel accommodation, signage and change of use. Importantly, the modular buildings have been properly described in DA 55/2023 as Class 3 buildings under the Building Code of Australia, requiring consent from Council for completion / continued use on the site.

An assessment of the proposal in accordance with Section 4.15 of the EPA Act has been completed, with the main findings summarised as follows:

- The extent of the proposed development, including completion and use of the motel building, accommodation buildings, carpark, landscaped areas and signage is clearly documented in the plans and reports submitted with DA 55/2023 and BIC – 17086.
- The solutions proposed under DA 55/2023 and BIC 17086 to ensure adequate compliance with the Building Code of Australia and other relevant standards are considered adequate to ensure the safety and amenity of patrons at the motel.
- The stormwater management system design is robust and generally follows the best practice principles in the Australian Rainfall and Runoff Guidelines 2019.
- The proposal has been advertised and notified in accordance with the Blayney Community Participation Plan 2020. The issues raised in submissions received as a result of the exhibition / neighbour notification of DA 55/2023 have been properly considered, and where necessary appropriate conditions have been included in the recommended conditions to be applied to any approval of the proposal.
- The proposed development complies with the relevant aims, objectives and provisions of BLEPand DCP.
- The proposed development is consistent with the requirements of relevant State Environmental Planning Policies.
- The proposed development has been referred to Council's Senior Building Surveyor, Environmental Health Officer, Development Engineer and Heritage Advisor, with advice being received that the proposal is capable of complying with the BCA (apart from Sound Insulation between the rooms) Council Engineering Standards and other relevant design standards, subject to appropriate conditions of consent.

To address relevant issues from the assessment of DA 55/2023, a number of conditions are recommended to be included in any determination of the proposal way of approval. The conditions are described in Section 13 of this assessment report. It is the recommendation of this Section 4.15 Assessment Report that DA 55/2023 be granted conditional approved as per the conditions listed in Section 13.

## 11. Attachments to Assessment Report

Attachment ADA documentation, including Plans and SEE relating to DA 55/2023Attachment BPublic Submissions

## 12. Statement of Reasons – DA

#### 12.1. The Decision

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Development Application No. 55/20232 is recommended for approval subject conditions.

#### 12.2. The Date of The Decision

The decision was made on the .....

# 12.3. The Reasons for the Decision (having regard to any statutory requirements applying to the decision)

Development Application No. 55/2023 was assessed using current procedures developed by Blayney Shire Council and other resource information. This includes:

 The requirements of Section 4.15(1) of the Environmental Planning and Assessment Act 1979 which states: This is Page No. 66 of the Attachments of the Extraordinary Council Meeting of Blayney Shire Council held on 18 December 2024

#### Section 4.15(1) Matters for consideration - general

In determining a development application, a consent authority is to take into consideration such of the following matters as are of relevance to the development the subject of the development application:

- (a) the provisions of:
  - (i) any environmental planning instrument, and
  - (ii) any proposed instrument that is or has been the subject of public consultation under this Act and that has been notified to the consent authority (unless the Secretary has notified the consent authority that the making of the proposed instrument has been deferred indefinitely or has not been approved), and
  - (iii) any development control plan, and
  - (iiia) any planning agreement that has been entered into under section 7.4, or any draft planning agreement that a developer has offered to enter into under section 7.4, and
  - (iv) the regulations (to the extent that they prescribe matters for the purposes of this paragraph)
- (b) the likely impacts of that development, including environmental impacts on both the natural and built environments and social and economic impacts in the locality.
- (c) the suitability of the site for the development.
- (d) any submissions made in accordance with this Act or the regulations.
- (d) the public interest.

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- The requirements of Blayney Local Environmental Plan 2012.
- The requirements of Blayney Council Development Control Plan 2018.

#### 12.4. How Community Views Were Taken into Account in Making the Decision.

In making the decision, the assessment properly considered the findings of submissions received as a result of the exhibition / neighbour notification of DA 55/2023 in accordance with the Blayney Community Participation Plan 2020.

As a result of this engagement, a total of five (5) submissions were received by Council from adjoining landowners and members of the public, some of which are objections to the DA or raised concerns, and others in support of the proposal.

An assessment of issues raised in the submissions has been documented in Table 5, and where necessary appropriate conditions have been recommended to address issues.

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# 13. Draft Conditions of Consent

### **Approved Plans**

### 1. Development In Accordance with Approved Plans & Documentation

Development is to take place in accordance with:

Plan / Doc No.	Plan / Doc Title	Prepared by	Issue	Date
220022	Site Analysis Plan	Premise	E	15.07.2024
220022	Existing Site Plan	Premise	E	15.07.2024
220022	Proposed Site Plan	Premise	E	15.07.2024
220022	Vehicle Turning Paths	Premise	E	15.07.2024
220022	Plans and Elevations of Existing Block 1 -23	Premise	E	15.07.2024
220022	Plans and Elevations Block 24	Premise	E	15.07.2024
220022	Plans and Elevations Block 25	Premise	E	15.07.2024
220022	Part Site Plan – New Accommodation Blocks	Premise	E	15.07.2024
220022	Existing Building Lower Ground Floor Plan	Premise	E	15.07.2024
220022	Existing Building Upper Ground Floor Plan	Premise	E	15.07.2024
220022	Existing Building Elevations	Premise	E	15.07.2024
3564/23	Survey Plan	Craig Jaques & Assoc		01.05.2023
230296-BCA-r1	BCA Assessment Report	Credwell		18.10.2023
SYD00681-FER01	Fire Engineering Report	Performance Based Consulting	F	5 August 2024
230396C-J1V3-r2	Section J Energy Efficiency Assessment	Credwell	R2	17.10.2023
AA00838	Development Application Statement	Access & Architecture (AUST) Pty Ltd		27.7.2024
20220626	Transportable Buildings Certification	Calare Civil		01.09.2023
220022_SEE	Statement of Environmental Effects	Premise	004B	27.06.2023
220022_REP	Traffic Study	Premise	002B	27.06.2023
210531	Stormwater Management Report	Barker Ryan Stewart		December 2021
220022_REP	Plan of Management	Premise	н	27.06.2023
	Fire Safety Strategy Report	Credwell		8 August 2023
210531	Sewer Capacity Assessment Report	Barker Ryan Stewart		15 December 2021

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-	Certificate of Structural Sufficiency	Design Construction Industries	-	21 December 2022
-	Landscape Plan	Premise	E	15 July 2024
210531-01-021	Detailed Civil Engineering Design	Barker Ryan Stewart	3	14 December 2021
	Heritage Impact Statement	Kate Higgins		30 May 2021
	Landscaping Plan	APS Landscape Architecture	D	09.05.2022
BA210805	Noise Assessment	Blackett Acoustics	A	September 2021
2308.05.Letter.A_r1	DnT, W measurement Report	Acoustik		04.10.2023

as amended in accordance with any conditions of this consent.

NOTE: Any modifications to the proposal shall be the subject of an application under Section 4.55 of the Environmental Planning and Assessment Act, 1979.

#### **Prescribed Conditions**

#### 2. Building Code of Australia

The building work must be carried out in accordance with the requirements of the Building Code of Australia. A reference to the *Building Code of Australia* is a reference to that Code as in force on the date the application for the relevant construction certificate is made.

#### 3. Identification of Site

The developer is to provide a clearly visible sign to the site stating:

a) Unauthorised entry to the worksite is prohibited.

- b) Street number or lot number.
- c) Principal contractor's name and licence number; or owner builders permit number.
- d) Principal contractor's contact telephone number/after-hours number.
- e) Identification of Principal Certifier, together with name, address & telephone number.

*Note:* Any such sign is to be maintained while the building work, subdivision work or demolition work is being carried out.

#### 4. Excavation Work

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Where any excavation work on the site extends below the level of the base of the footings of a building on adjoining land, the person having the benefit of the development consent must, at the person's own expense:

a) Protect and support the adjoining premises from possible damage from the excavation, and

b) Where necessary, underpin the adjoining premises to prevent any such damage.

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#### Prior to Issue of a Construction Certificate

#### 5. Engineering Plans

For any conditions requiring the completion of any engineering work, the applicant must submit full engineering plans, specifications and calculations to Blayney Shire Council demonstrating compliance with the WBC Guidelines for Engineering Works. Further, the works are to comply with WBC Guidelines for Engineering Works.

#### 6. Traffic and Pedestrian Management Plan

The applicant is to prepare and implement a Traffic Management Plan that provides necessary direction to traffic or pedestrian movement through or past the work site. The Traffic Management Plan is to be prepared by a suitably qualified person in accordance with the provisions of the relevant Australian Standards and is to be submitted to Council for approval PRIOR to its implementation.

#### 7. Soil and Water Management Plan

The developer is to submit a soil and water management plan for the site in accordance with WBC Guidelines for Engineering Work. No building, engineering, or excavation work, or topsoil stripping or vegetation removal, is to be carried out in relation to this development until such time as the plan has been approved by Council and the measures detailed in the plan are in place prior to works commencing. The measures detailed in the plan are to remain in place until all landscaping is completed.

#### 8. Liquid Trade Waste Agreement – Laundry

The developer is to obtain a liquid trade waste agreement for the discharge from the proposed laundry from council under Section 68 of the Local Government Act.

#### 9. Security Deposits

Payment is to be made to Council of a bond of \$35 per lineal metre for security deposit on the kerb and gutter and footpath. The bond held on the kerb and gutter and footpath is fully refundable upon completion of all works and upon inspection by Council to ensure that any damage to Council infrastructure has been repaired. The bond will not be refunded in the event that damage done to Council's infrastructure is not repaired to its satisfaction.

#### 10. Service Vehicles Manoeuvring

Any new footway crossings, driveways, loading and unloading areas, manoeuvring areas and parking areas, are to be designed/redesigned so that an 8.8m service vehicle may perform a left turn into the site, turn around, and exit the site in a forward direction without crossing the road centreline. The design is to detail access to Lot 79 DP 1137273 and be designed so that an 8.8m service vehicle may perform a right turn into the lot, turn around, and exit the lot in a forward direction. Further, plan drawn to scale showing all parking and manoeuvring areas is to be submitted to Council for approval prior to issue of the Construction Certificate. Note: All vehicle turning movements are to be based on the Austroads design vehicle.

#### 11. Contributions

Development Contributions are to be paid in accordance with the Blayney Shire Local Infrastructure Contributions Plan 2022 (see Council's web site). The contributions to be paid are currently 1% of the cost of development. The amount payable would be recalculated on the basis of the contribution rates that are applicable at the time of payment. Evidence of payment of the contributions is to be provided to the Principal Certifying Authority prior to the issue of the Construction Certificate.

#### 12. Plan of Management

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Prior to the issue of the Construction Certificate, the applicant is to submit a Plan of Management for the approval of the Director Planning and Environmental Services which addresses the following objectives:

 Ensuring the premises are managed to an acceptable standard and to ensure the facility meets the needs of guests, owners, stake holders, neighbours and the community in general.

- Ensuring operation of the site meets demands of the clientele while minimising impacts of local community.
- Ensuring the operational guidelines meet requirements for use of public areas that reduce impacts on other guests and the local community.
- Ensuring written records of management practices, standards and procedures are available for to all relevant parties.
- Providing a system by which standards, procedures and systems can be monitored and improved to ensure satisfaction of all stakeholders.
- Ensuring all areas of safety meet the standards as set by Government; and
- Ensuring the behaviours of both guests and those in the vicinity of the site are in keeping with standards as set down by those in the local community.

The Plan of Management must include a methodology to demonstrate how the following matters will be addressed to ensure that the facility is operated within acceptable limits:

- Maximum capacity of the premises.
- Online booking system which can be accessed via the general public via the internet.
- Register identifying the purpose of each tenant overnight stay.
- Operations and activities.
- Management responsibilities.
- Staffing.
- Security.
- Guest rules.
- Smoking (including littering of cigarette butts).
- Car parking.

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- Noise minimisation (including the recommended conditions in the Acoustic Report by Acoustik (Orange) dated 4 October 2023)
- Disabled Persons' Access
- Stakeholder liaison.
- Complaints and complaints book, and
- Contact details for the on-site manager.

In addition, the Plan of Management must include:

- details to confirm that the operator will establish telephone complaints hot line for the purpose
  of receiving complaints from members of the public in relation to activities conducted on-site or
  by vehicles associated with the site.
- details of the complaints hotline are to be provided to adjoining owners and any property within
   50m of the property boundary prior to the commence of any works.
- details to confirm that the operator will prepare annual reports. Each annual report must provide
  a detailed overview of the operation of the facility for the previous 12 months, including details
  outlining how each requirement of the Plan of Management has been met.
- Requirements for the preparation of a report for submission to Blayney Shire Council on an annual basis (commencing from first use of the facility). As a minimum the annual report must detail
  - a. If a requirement of the Plan of Management was not met,

b. A record of any complaints received, including the time / date; the manner in which the complaint was addressed and whether or not the complaint was resolved.

Operations must comply with the Plan of Management as approved by the Director Planning and Environmental Services.

#### **Prior to Works Commencing**

#### 13. Construction Certificate – Building Works

Prior to the commencement of any works, the applicant is to obtain a Construction Certificate from either Blayney Shire Council or an Accredited Certifying Authority for the proposed motel buildings. The Construction Certificate Application must include a Performance Solution for Disabled Persons Access in accordance with the Development Application Statement by Architecture & Access (Aust) Pty Ltd, dated 26 July 2024.

#### 14. Commencement of Work and Appointment of PCA

The applicant is to submit to Council, at least two (2) days prior to the commencement of any works, a notice of commencement of building or subdivision works and Appointment of Principal Certifier.

#### 15. Public Liability Insurance

Prior to the commencement of any works on Council or Roads and Maritime Services (RMS) controlled land including a public road, the applicant is to affect Public Liability Insurance to the minimum amount of \$20 million. This insurance is to note Council's interest and is to remain current for at least the period from the issue of the Construction Certificate until the issue of a Compliance Certificate or final inspection report for the works. Documentary evidence of the currency of the cover is to be provided to Council prior to the commencement of works within the road reserve.

#### 16. Construction Certificate – Engineering Works

The applicant is to obtain a Construction Certificate from Council, for the engineering work required by any conditions requiring the completion of any engineering works The Construction Certificate is to be obtained prior to works commencing for the works associated with any conditions requiring the completion of any engineering works Design shall be in accordance with WBC Guidelines for Engineering Works. Note: Where Council is the Certifying Authority in relation to engineering works fees will be payable in accordance with Council's Revenue Policy.

#### 17. Section 68 Approval Application

Prior to the issue of a Construction Certificate, a Section 68 Application to carry out water supply work and sewerage work, shall be submitted to Council on the NSW Planning Portal.

#### **During Construction**

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#### 18. Naturally Occurring Asbestos

If Naturally Occurring Asbestos is identified, and it is likely to be affected by the proposed works, Clause 432 of the *Work Health and Safety Regulations 2017* (as amended) requires that a site-specific Asbestos Management Plan must be prepared in accordance with the regulations and the *Model Asbestos Policy for NSW Councils (2015)* (as amended).

If Naturally Occurring Asbestos is identified, no further works may be undertaken until an Asbestos Management Plan is prepared to the satisfaction of the Blayney Shire Council Department of Planning and Environmental Services. This is Page No. 72 of the Attachments of the Extraordinary Council Meeting of Blayney Shire Council held on 18 December 2024

### 19. Hours for Construction or Demolition

Construction or demolition only be carried out between 7.00 am and 6.00 pm on Monday to Friday, and 8am to 5pm on Saturdays. No construction or demolition is to be carried out at any time on a Sunday or a public holiday.

*Note:* The principal contractor shall be responsible to instruct and control their sub-contractors regarding the hours of work.

### 20. Rubbish and Debris

All rubbish and debris associated with the development, including that which can be windblown, must be contained on site in a suitable container at all times. The container shall be erected on the development site prior to work commencing. Materials, sheds or machinery to be used in association with the development must be stored and stacked wholly within the worksite unless otherwise approved by Council.

Note 1: No rubbish or debris associated with the development will be placed or permitted to be placed on any adjoining public reserve, footway or road.

Note 2: Offenders are liable for prosecution without further warning.

# 21. Toilet Facilities

Toilet facilities must be available or provided at the work site before works begin and must be maintained until the works are completed at a ratio of one toilet, plus one additional toilet for every 20 persons employed at the site. Each toilet must:

i. be a standard flushing toilet connected to a public sewer, or

ii. have an on-site effluent disposal system approved under the *Local Government Act 1993*, or iii. be a temporary chemical closet approved under the *Local Government Act 1993*.

## 22. Excavations and Backfilling

All excavation and backfilling associated with the erection/demolition of the building must be:

- a) executed safely and in accordance with appropriate professional standards, and
- b) properly guarded and protected to prevent them from being dangerous to life or property.

### 23. Demolition

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Demolition work shall be carried out in accordance with Australian Standard AS2601-1991: The Demolition of Structures, and NSW SafeWork requirements.

## 24. Erosion and Sediment Control

Erosion and sediment control measures are to be established prior to commencement of construction and maintained to prevent silt and sediment escaping the site or producing erosion. This work must be carried out and maintained in accordance with Council's *WBC Guidelines for Engineering Works* (see Council's website), and the Dept Housing – *Soil and Water Management for Urban Development (The Blue Book).* 

Note 1: All erosion and sediment control measures must be in place prior to earthworks commencing.

Note 2: Copies of the above Policy are available from Council's Environmental Planning and Building Services Department.

### 25. BCA Upgrade of Existing Modular Buildings

In accordance with Clause 64 of the Environmental Planning & Assessment Regulation 2021, all of the existing modular buildings shall be upgraded as follows to comply with the following provisions of the Building Code of Australia (BCA2022 - Volume 1):-A. The Conditions of Fire & Rescue NSW:- This is Page No. 73 of the Attachments of the Extraordinary Council Meeting of Blayney Shire Council held on 18 December 2024

- All additional fire safety measures are to be installed as per Table 12 of PBC's Fire Engineering Report SYD000681-FER01:
- Each modular building must be provided with a detection system in accordance with Part E2 and AS 1670.1:2018;
- A sprinkler head must be installed in each of the bedrooms in accordance with FPAA101D: and
- Portable fire extinguishers must be provided throughout each modular building in accordance with BCA Clause E1D14; and

B. The Fire Engineering Report by Performance Based Consulting Pty Ltd, Ref. No. SYD000681-FER01, Revision F, dated 5 August 2024; and

C. The Section J Energy Efficiency Assessment by Credwell, Ref No. 230396C-J1V3-r2, dated 17 October 2023.

### 26. Existing Building

The existing bowling club building shall be partitioned as indicated on the submitted floor plan with a portable fire extinguisher and fire blanket complying with Australian Standard AS2444 provided in the kitchenette.

### 27. Portable Fire Extinguishers

Portable fire extinguishers complying with Australian Standard AS2444 shall be provided on each motel building in break-glass cabinets.

### 28. Sealing of Roofs

The transportable building roofs shall be sealed in accordance with the Structural Certification by Premise, Ref No.GEO9999-22022-C01 R2, dated 27 May 2021, with certification from the builder/roofer to this effect submitted to Council.

## 29. Outdoor lighting

All outdoor lighting must be installed in accordance with Australian Standard 4282:2019 Control of the obtrusive effects of outdoor lighting.

### 30. Engineering Inspections

The applicant is to arrange an inspection of the development works by Council's Engineering Department, at the following (relevant) specified stages of the development. This condition applies notwithstanding any private certification of the engineering works.

A	Drainage	<ul> <li>* After laying of pipes and prior to backfill.</li> <li>* Pits after rendering openings and installation of step irons.</li> </ul>
В	Sewerage	<ul> <li>* After laying of pipes and prior to backfill.</li> <li>* Main - air pressure testing.</li> <li>* Manhole - water test for infiltration, exfiltration.</li> </ul>
С	Concrete Footway Crossings	* After placing of formwork and reinforcement, and prior to concrete placement;
D	Erosion and Sediment Control	* Prior to the installation of erosion measures.
E	All Development	* Practical completion.

### 31. Site Management

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The site shall be managed so that:

(a) No additional filling shall be placed on the land which may impede the flow of flood waters.(b) Any clearing or drainage activities shall not alter the drainage patterns across the site.

(c) No landscaping or similar type structures shall be installed which will inhibit the flow of flood waters.(d) Any plant or goods stored upon the site shall be stored in a manner which will not allow pollution of the flood waters.

(e) All actions shall be taken upon the site which will minimise the effect of the property upon the flood waters.

### 32. Drainage

Plumbing work is to be carried out so that the building has a separate drainage service connected to Council's sewer main within the boundaries of the site, in accordance with the Local Government (Approvals) Regulation 1999.

### 33. Footway Crossing - Square

A 6m wide (minimum) vehicular crossing(s) over the footway adjacent to the proposed ingress/egress point(s) is/are to be designed and constructed in accordance with WBC Guidelines for Engineering Works. Further the applicant is to obtain a Compliance Certificate pursuant to Section 109C of the Environmental Planning and Assessment Act as amended, or inspection report, at the completion of construction of the footway crossing, from Council or an accredited certifying authority, certifying that the works have been completed in accordance with WBC Guidelines for Engineering Works and that the levels are in accordance with those issued.

### 34. Combined Access Width

The proposed combined entrance and exit is to have a minimum width of 6 metres at the property line.

### 35. Off Street Car Parking

Provision shall be made within the site for 80 vehicular parking spaces, each to be of minimum dimensions 5.5 x 2.5 metres, separately and clearly delineated.

### 36. Entrance/Exit Points

Entrance / exit points are to be clearly signposted and visible from both the street and the site at all times. A stop sign and traffic calming device must be installed in a location to be approved by the Blayney Shire Council Department of Infrastructure Services.

### 37. Pave and Linemark

All vehicular manoeuvring and parking areas are to be paved (in concrete/bitumen) and permanently line marked, in accordance with WBC Guidelines for Engineering Works.

### 38. Ingress/Egress

All vehicles entering or leaving the subject property shall be driven in a forward direction.

### 39. Carpark Lighting

All vehicular manoeuvring and parking areas are to have exterior lighting installed. The exterior lighting shall be designed and installed so that no obtrusive light will be cast onto any adjoining property. Note: Compliance with Australian Standard AS4282 "Control of the Obtrusive Effects of Outdoor Lighting" will satisfy this condition.

### 40. Site Management

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The site shall be managed so that:

- (a) No additional filling shall be placed on the land which may impede the flow of flood waters;
- (b) Any clearing or drainage activities shall not alter the drainage patterns across the site;

(c) No landscaping or similar type structures shall be installed which will inhibit the flow of flood waters;(d) Any plant or goods stored upon the site shall be stored in a manner which will not allow pollution of the flood waters;

(e) All actions shall be taken upon the site which will minimise the effect of the property upon the flood waters.

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### 41. Separate Water Service

The applicant is to ensure that the water service to each lot is contained entirely within the boundary of the individual lot serviced. Any alterations that are necessary are to be at the applicants cost. The applicant is to arrange an inspection with Central Tablelands Water to ensure each property has a separate water supply within their respective boundaries.

### 42. Separate House Drainage

Plumbing work is to be carried out so that each lot has a separate and distinct house drainage service connected to Council's sewer main within the boundaries of that lot, in accordance with the Local Government (Approvals) Regulation 1999.

### 43. Road and Interallotment Drainage

The developer is to design and construct inter allotment drainage to drain all lots not draining naturally to a public road. The drainage system is to include grated inlet pits with pipe connections to all such lots. All drainage works are to comply with the provisions of AS/NZS 3500 and WBC Guidelines for Engineering Works. All road and inter allotment drainage is to be conveyed to Council's underground drainage network (subject to design) and a legal point of discharge, in accordance with WBC Guidelines for Engineering Works.

## 44. Sewer Connection

The construction of sewer mains is to occur, such that there is a separate and distinct sewer connection wholly within the boundary of each proposed residential lot, in accordance with the Local Government (Approvals) Regulation 1999 and in accordance with WBC Guidelines for Engineering Works. Note: The developer is to construct a 150 mm sewer riser at each property junction; each riser is to be constructed so that riser cap finishes 150 mm above the finished surface level of each allotment created.

#### 45. Reticulation – Development

The construction of water and sewerage reticulation to serve the development is to be undertaken in accordance with WBC Guidelines for Engineering Works. The developer is to construct a 150 mm sewer riser at each property junction; each riser is to be constructed so that riser cap finishes 150 mm above the finished surface level of each allotment created.

#### **Prior to Issue of Occupation Certificate**

#### 46. Sewer Service Diagram

Prior to the issue of an Occupation Certificate, the licensed plumber shall submit to Council a Sewer Service Diagram and a Certificate of Compliance in accordance with the requirements of NSW Fair Trading.

### 47. Liquid Trade Waste

Prior to the occupation or use of the building, the developer is to obtain a liquid trade waste agreement from council under Section 68 of the Local Government Act.

#### 48. Occupation Certificate

Prior to the occupation or use of the building an Occupation Certificate is to be obtained from the Principal Certifier, and where Council is not the PCA, a copy is to be submitted to Council. In this regard, documentary evidence to indicate compliance with the Section J Energy Efficiency Assessment by Credwell Energy dated 6/10/2023 shall be submitted with the Occupation Certificate Application.

### 49. Works as Executed Plan

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The applicant is to submit to Council an electronic copy of the works as executed plans for the works required by any engineering conditions in AutoCAD 2000 format. Further, the works are to comply with WBC Guidelines for Engineering Works. Additionally, installation and material costs for the works required by any engineering conditions, are to be provided to council alongside the Works as Executed Plan.

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### 50. Water Headworks

The applicant shall contribute towards water head works to Central Tablelands Water (CTW) pursuant to Section 305 of the Water Management Act, 2000, and the Development Servicing Plan (Section 64), before the Occupation Certificate is issued. The amount applicable will be dependent upon the date on which payment is made and will be as per CTW's adopted fees and charges for the financial year in which payment is made.

# Ongoing Matters

### 51. Approved Use

The approved building must not be used for any other purpose other than the approved use (i.e. a motel). Any proposed change of use shall only be permitted with the consent of Council.

### 52. Plan of Management

The requirements of the approved Plan of Management must be adhered to at all times.

### 53. Clearance from Power Lines

Clearance from power lines is to be provided during and after construction. Minimum distances from power lines are to be maintained in accordance with the requirements of the relevant service authority.

### 54. Annual Fire Safety Certificate

For every 12-month period after the issue of the Final Fire Safety Certificate the owner/agent of the building must provide the Council and the Commissioner of NSW Fire Brigades with a copy of an Annual Fire Safety Statement certifying that each specified fire safety measure is capable of performing to its specification.

Where any essential services are installed in the building a copy of the final Fire Safety Certificate (together with a copy of the current fire safety schedule) is to be given to the Commissioner of Fire and Rescue NSW. A further copy of the Certificate (together with a copy of the current fire safety schedule) is to be prominently displayed in the building.

## 55. Premises in a clean and tidy state

The premises shall be maintained in a clean and tidy state at all times.

### 56. Garbage storage

All domestic garbage generated by the use of the proposed use must be disposed of immediately to the approved garbage storage and collection area.

### 57. Car parking areas not to be used for another purpose

All car parking spaces, loading and unloading areas, vehicle manoeuvring, and driveway areas must not be used for the storage of any goods or materials and must be available for their intended use, at all times.

### 58. Ingress/Egress

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All vehicles entering or leaving the subject property shall be driven in a forward direction.

### 59. Confirmation of Effluent Discharge Volumes

After a period of 2 months from the issue of an occupation certificate, the developer shall have installed, by suitably qualified consultants, calibrated flow measurement and level sensor equipment to councils sewer reticulation network. Instrumentation shall be installed at a predetermined location approved by council, for a period of twelve (12) months. Information collected shall include but, not be limited to, flow rate, flow volume, flow frequency, and flow depth in pipes and manholes. Reports shall be provided to council on a monthly basis. A certificate of calibration for the measurement equipment shall be provided to council at the time of installation. This data shall be used by council for the determination of actual ET units generated by the development, with corresponding increase or reduction of headworks charges.

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### 60. Noise

Mechanical services must not have a noise impact greater than 5dBA LAeq (15m minutes) during any period in accordance with the Protection of the Environment Operations (Noise Control) Regulation 2008.

### 61. Access to Manholes

Access to any sewer manholes on the subject land is not to be obstructed in any way. Note: Any alterations to the existing manhole/s or adjustments in height to the existing manhole/s are to be at the applicant's cost.

### 62. Relocate Utility Services

The developer is to relocate any utility services if required, at the developer's cost.

### 63. Clearance from Power Lines

Clearance from power lines is to be provided during and after construction. Minimum distances from power lines are to be maintained.

### 64. Premises in a clean and tidy state

The premises shall be maintained in a clean and tidy state at all times.

# Garbage storage areas are to be adequately screened from public view.

65. Garbage storage

### 66. Line Marking

All line-marking for the on-site car parking spaces and footpath areas are to be maintained in a visible condition, at all times.

### 67. Room Area Requirements

The applicant shall comply with the provisions of clause 73 of the Public Health Regulation 2022 in regard to minimum room area requirements. In this regard, accommodation may not be provided to the same person for a period of more than 28 consecutive days for Block 24 unless a Ministerial exemption is granted.

### Advisory Notes

### AN 1. Notice of Commencement

Notice of commencement of building works must be lodged on the NSW Planning Portal at least 2 days before any work commences on the site.

### AN 2. Aboriginal Objects

If, during work, an Aboriginal object is uncovered then work is to cease immediately, and the Office of Environment and Heritage is to be contacted urgently. Under the National Parks and Wildlife Act 1974 it is an offence to harm an Aboriginal object or place without an 'Aboriginal heritage impact permit' (AHIP). Before making an application for an AHIP, the applicant must undertake Aboriginal community consultation in accordance with clause 60 of the National Parks and Wildlife Regulation 2019.

### AN 3. Essential Energy General Comments

- Any existing encumbrances in favour of Essential Energy (or its predecessors) noted on the title of the above property should be complied with.
- Essential Energy's records indicate there is electricity infrastructure located within close proximity
  of the property. Any activities within this location must be undertaken in accordance with the
  latest industry guideline currently known as ISSC 20 Guideline for the Management of Activities
  within Electricity Easements and Close to Infrastructure. Approval may be required from Essential
  Energy should activities within the property encroach on the electricity infrastructure.

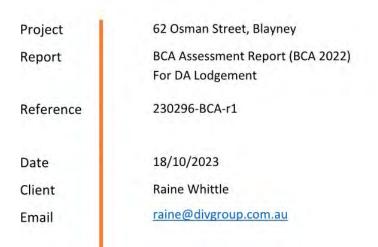
- Prior to carrying out any works, a "Dial Before You Dig" enquiry should be undertaken in accordance with the requirements of Part 5E (Protection of Underground Electricity Power Lines) of the Electricity Supply Act 1995 (NSW).
- Given there is electricity infrastructure in the area, it is the responsibility of the person/s completing any works around powerlines to understand their safety responsibilities. SafeWork NSW (www.safework.nsw.gov.au) has publications that provide guidance when working close to electricity infrastructure. These include the Code of Practice Work near Overhead Power Lines and Code of Practice Work near Underground Assets

### AN 4. Transport for NSW Comments

- Safe Intersection Sight Distance (SISD) requirements outlined in Austroads Guide to Road Design Part 4A and relevant TfNSW supplements is to be provided and maintained in both directions at the intersection of the driveway with Church Street servicing the development.
- All vehicle movements to and from the land must be in a forward direction
- The driveway access to be a minimum of 6m wide, constructed of concrete, match existing road and footpath levels and not interfere with existing road drainage
- The driveway not to adversely impact the safe passage of pedestrians along the footpath provided in Church Street
- Landscaping, signage and fencing not to impede sight lines of traffic or pedestrians within or when passing, entering or departing from the site
- Prior to the commencement of construction work impacting traffic on Church Street, the proponent is to contact the TfNSW Road Access Unit at <u>road.access@transport.nsw.gov.au</u> to determine if a road occupancy licence (ROL) is required. In the event an ROL is required the proponent is to provide the consent number in the road occupancy licence application.
- The maximum size of vehicles at the site should be 8.8m medium rigid vehicles consistent with the maximum vehicle swept path design of the site.
- All road works be completed prior to operation of the proposed development
- Signage including any proposed internally lit signs to be contained within property boundaries and designed to meet the objectives of Transport Corridor Outdoor Advertising and Signage Guidelines 2017
- Construction activities to be undertaken wholly within the bounds of the site and not impact the efficiency and safety of all road users, including pedestrians

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Document Cont	trol		
Reference/Revision	Date		BCA Assessment Report
230296-BCA-r1 Draft BIC report issued	18/10/2023	Prepared by	Adam Southwell Building Surveyor – Unrestricted (A1) BDC 3305



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# 1 Introduction

## 1.1 Objectives

The purpose of this report is to support a Building Information Certificate application to Council and to provide commentary on the compliance, or otherwise, of the new or modified buildings on site with Volume 1 of the Building Code of Australia (BCA).

The report will identify where the subject building achieves compliance and non-compliance with the BCA, and provide an upgrade strategy for any non-compliances which is to be accepted at the discretion of council.

Part 3 'Assessment Summary' of this report outlines the identified compliance matters that require further information or consideration and/or assessment as a Performance Solution (to be prepared separately).

It is presumed the assumptions, content, and limitations of this report are reviewed, noted, and understood by the reader. Credwell Consulting are to be contacted to clarify any queries or assumptions made in relation to the contents of this report and further, Credwell Consulting take no responsibility for misinterpretation of any of the content herein.

## 1.2 Limitations

This report does not include, nor imply, any audit, assessment, or upgrading of:

- 1. The structural adequacy or design of the building (unless specifically referred to);
- The capacity or design of any electrical, fire, hydraulic or mechanical services (unless specifically referred to); and
- 3. The inherent derived fire-resistance ratings of any proposed structural elements of the building (unless specifically referred to);

This report does not include, nor imply, any assessment of, or compliance with:

- 1. The National Construction Code Plumbing Code of Australian Volume 3;
- 2. The Disability Discrimination Act 1992 including the Disability ((Access to Premises Buildings) Standards 2010 – unless specifically referred to),
- 3. The provision of disabled access to the subject development, being any assessment of the Deemed-to-Satisfy provisions of Part D3 and Clauses E3.6, F2.4 & F2.9;
- 4. Any Development Consent conditions;
- 5. The Liquor Licencing Act 2007;
- 6. The Work Health and Safety Act 2011;
- 7. The Swimming Pools Act 1992; and
- 8. Requirements of Authorities including, but not limited to, Fire and Rescue NSW, WorkCover, RMS, Council, Telecommunications Supply Authority, Electricity Supply Authority, Water Supply Authority, Gas Supply Authority and the like.
- 9. Requirements of BCA Section J.

### Interpretations

A number of matters within the BCA are known to be interpretive. Where these matters are encountered, interpretations have been used that are consistent with Credwell Consulting's understanding of standard industry practice.

### **Dimensions and Tolerances**



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In some instances, the BCA specifies minimum dimensions for construction. The assessment of plans and specifications includes a review of such minimum dimensions that are relevant to the project, but Credwell Consulting does not guarantee that all relevant minimum dimensions have been assessed where they are not clearly and explicitly denoted/marked on the architectural drawings.

The relevant designer(s) and builder(s) should confirm that all minimum dimensions are achievable on site prior to works and consideration/attention should be given to construction tolerances impacted by wall set outs, applied finishes, and skirtings to corridors and bathrooms. For example, tiling bed thickness on walls and floors can adversely impact critical minimum dimensions relating to access for people with disabilities, stair and corridor widths, and balustrade heights.

# 1.3 Reviewed documentation

This report is based on documentation referenced in Annexure A.

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# 2 Development Particulars

# 2.1 Building location

The buildings, the subject of this report, are located at 62 Osman Street, Blayney.

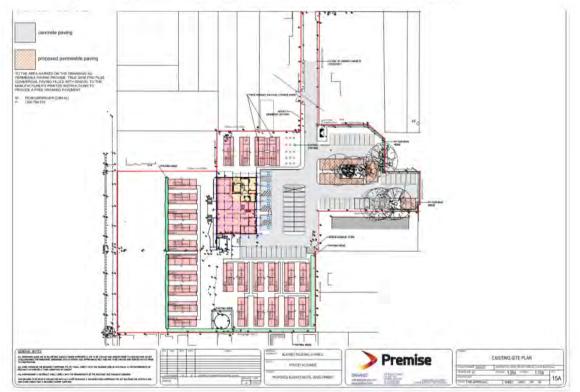


Figure | Image of the Site | source: architectural plans

# 2.2 Proposal

The development consists of a new motel with motel rooms in detached modular buildings.

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# 2.3 Building description

For the purposes of the BCA, the buildings are described as follows:

Building Classification	3 (detached motel rooms), 6 (amenities) 6 (restaurant building)	Levels Contained	1 (detached rooms in modular buildings) 2 (amenities/restaurant building)
Rise in Storeys	1 (detached huts) 2 (amenities/restaurant building)	Effective Building Height (m)	Om
Type of Construction	Туре С	Climate Zone	7 Blaney local government area

# 2.4 Classification

Tast	Use	Floor Area
3	25 detected rooms in modular buildings (102 rooms)	N/A
6	Amenities (as part of the restaurant building)	130m <sup>2</sup>

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# 3 Assessment Summary

# 3.1 Assessment

The reviewed documentation referenced in Annexure A of this report has been assessed against the Deemed-to-Satisfy (DtS) provisions of the BCA. This assessment has identified the following areas where compliance with the BCA will require further consideration.

Annexure B of this report provides a detailed assessment of the proposal against each of the relevant DtS provisions of the BCA.

# 3.2 Possible Performance Solutions (Fire Safety)

The following items relate to areas where a Performance Solution has been provided to justify a deviation from the DtS requirements of the BCA. This report does not form a Performance Solution.

ltem	Possible Performance Solution	DtS Provision	Performance Requirements
1.	An interconnect smoke alarm system is installed throughout the complex so that each room in the individual modular motel building is interconnected as part of a fire engineering report to justify the lack of fire separation of the motel rooms.	E2D8	C1P1, C1P2, E2P1

# 3.3 Performance Solutions (Other)

The following items relate to areas where a non-fire engineered Performance Solution has been provided to justify a deviation from the DtS requirements of the BCA. This report does not form a Performance Solution.

Item	Possible Performance Solution	D15 Provision	Performance Requirements
1.	JV3 assessment to determine level of energy efficiency within the modular motel rooms. This will require physical inspection.	Section J	JV3

# 3.4 Design amendments

The following items have been identified as departures from the BCA deemed-to-satisfy provisions, and Credwell recommend these items to be resolved with minor design amendments:

ltem	Amendments required	DtS Provision
1.	The development has currently not been provided with any accessible motel rooms. As there are currently 102 motel rooms there will need to be 6 accessible rooms provided.	D4D2
	If there is between 81-100 motel rooms then the number of accessible rooms required is 5.	
	The DA submission for the development shows 6 accessible rooms on the plans.	



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### 62 Osman Street, Blayney

# 3.5 Design verification

The following items cannot be determined as being compliant based off the plans provided. Details are either to be provided on the plans or otherwise checked via physical inspection.

hem	Design verification required	<b>DLS Provision</b>
1.	Structure – Structural engineer is to confirm structural adequacy of the building.	Part B1
2.	<ul> <li>Fire Hazard Properties – These are currently unknown for the floor, wall, ceiling and any potential sarking/insulation. Details of what is installed may be able to provide satisfactory justification to council.</li> <li>Physical inspection may identify products to help close out some of these items.</li> </ul>	C2D11
3.	Fire Extinguishers – Fire extinguishers are to be located within 10m of the entry doors to each of the motel rooms.	E1D14
4.	Stormwater – certification is to be provided from the engineer and from the plumber who completed the works.	F1D3
5.	Sound insulation between motel rooms – An acoustic engineer has prepared a report for the acoustic rating between the motel rooms.	F7D6

# 4 Statement of Compliance

The architectural design documentation prepared for submission for the Development Application (as referred to in Annexure A of this report) have been assessed against the relevant provisions of the BCA. This assessment was limited to an assessment of the BCA in order to identify any items that may necessitate a modified development consent or additional key items that must be included in the design. It is considered that the documentation complies or is capable of complying with the BCA as outlined in Annexure B subject to resolution of items identified in this Report.

As identified in the Clause by Clause assessment, sufficient construction documentation is required in order to undertake a full assessment prior to the application for the Building Information Certificate.

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62 Osman Street, Blayney

# 5 Disability (Access to Premises - Buildings) Standards 2010

The Disability (Access to Premises – Buildings) Standards 2010 (the "Premises Standards") was created under the DDA and is also Commonwealth legislation (applies nationally). The Premises Standards identifies buildings to which it applies before specifying construction standards that those buildings are required to comply with. In summary, the Premises Standards are applicable to a new building, a new part of a building, and an affected part of a building, and the construction standards applicable are contained within "Schedule 1 Access Code for Buildings".

The Premises Standards provides a definition for a new building, a new part of a building, and an affected part of a building. The definition of a new building and a new part of a building is currently considered to be in line with standard dictionary definitions (unless a building or part obtained construction approvals prior to 1 May 2011). However, the term "affected part" is specific to the Premises Standards and is defined by clause 2.1(5) as follows –

- a) the principal pedestrian entrance of an existing building that contains a new part; and
- b) any part of an existing building, that contains a new part, that is necessary to provide a continuous accessible path of travel from the entrance to the new part.

The upgrade requirements of the Premises Standards are founded on determining whether a development within an existing building result in the creation of an affected part.

As previously mentioned, the construction standards of the Premises Standards are contained within "Schedule 1 Access Code for Buildings". It should be noted that this part of the Premises Standards was prepared in consultation with the Australian Building Codes Board (ABCB – publisher of the BCA). As such, the requirements outlined in each document are the same. Therefore, assessment of the proposed development against the relevant requirements of the BCA applicable to access for people with a disability ensures that it also complies with the Premises Standards.

The subject proposed development results in the creation of an affected part within the existing building. Therefore, the new part, the principal pedestrian entry to the building, and the continuous accessible path of travel from the principal pedestrian entry to the new part must all comply with the Premises Standards. This may require upgrading existing parts of the building to achieve compliance.

An assessment of the building against the relevant requirements of the BCA applicable to access for people with a disability, as outlined in this Report, is equivalent to an assessment against "Schedule 1 Access Code for Buildings" of the Premises Standards. Therefore, confirmation of compliance with the BCA should also be taken as confirmation of compliance with the Premises Standards.



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# 6 Clause by Clause Assessment

An assessment of the proposal has been undertaken against each clause of the BCA and the following abbreviations have been used.

PS	A Performance Solution is proposed to achieve compliance with this Clause.
CRA	"Compliance Readily Achievable" – it is considered that whilst there is insufficien information currently provided to determine strict compliance with the DtS provisions of the BCA the proposed design is capable of comply subject to noting the requirements of the Clause. Additional information or documentation is necessary to confirm compliance. This may be in the form of additional drawing, a specification or design certification. See Appendix D for a proposed specification
Complies	The proposal shows compliance with the Deemed-to-Satisfy Clause.
DNC	The design does not comply with the Deemed-to-Satisfy Clause and design amendments are required
FI	Further information is required for assessment of the proposal relative to the Dts Clause
N/A	The DtS Clause is not applicable at this stage to this design.
Noted	The DtS Clause provides information not requiring specific assessment of the proposed design.
To be assessed at CC stage	An assessment against this provision is not included in a DA stage report due to the level of documentation provided. Pending further engagement, this will be assessed upon receipt of Construction Documentation.



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# 62 Osman Street, Blayney

6.1	Asses	Assessment of the Ancillary Building					
SECTION	B - STRUCT	URE					
Clause	[2019]	Description	Comments	Assessment			
Part B1	- Structura	al Provisions					
A Certifi	cate of Stru	ctural Sufficiency has been issu	ed by Design Construct Industries to confi	rm the structural adequacy			

of the motel rooms.

Clause	[2019]	Description	Comments	Assessment
and the second se	- Fire res	the second se		
	details the		al statements, performance requirements and verification meth	ods relevant to
Part C2 -	- Fire res	istance and stabilit	Ŷ	
C2D1	C1.0	DtS Provisions	Information only.	Noted
C2D2	C1.1	Type of construction required	The restaurant/amenities building is Type C Construction. The motel rooms buildings are Type C Construction.	Noted
C2D3	C1.2	Calculation of rise in storeys	The rise in storey of the restaurant/amenities building is 2. The rise in storey of the motel rooms buildings is 1. The rise in storey is the sum of storeys at any part of the external wall of the building and any storey within the roof space.	Noted
C2D4	C1,3	Buildings of multiple classifications	The top storey of the restaurant/amenities building contains a Class 6 part. Note that only the administration part of the building on the ground floor is subject to the BIC.	Noted
C2D5	C1.4	Mixed types of construction	All buildings are Type C construction.	Noted
C2D6	C1.5	Two storey Class 2, 3 and 9c buildings	None of the buildings are a two storey class 2, 3 or 9c building and therefore this clause does not apply.	N/A
C2D7	C1.6	Class 4 parts of buildings	None of the buildings does not contain a class 4 part and therefore this clause does not apply.	N/A
C2D8	C1,7	Open spectator stands and indoor sports stadiums	None of the buildings contain an open spectator stands or indoor sports stadiums and therefore this clause does not apply.	N/A
C2D9	C1.8	Lightweight construction	Based off the documentation provided there is inadequate fire separation between the adjoining motel rooms. Any existing lightweight fire separation is not likely to comply with the requirements of this clause. A Fire Engineering Report has been prepared by Credwell Performance to resolve the lack of fire separation between the motel rooms.	PS
C2D10	C1.9	Non-combustible building elements	This requirement does not apply to Type C construction.	N/A
C2D11	C1.10	Fire hazard properties	<ul> <li>The following fire hazard property details are currently known about the motel room buildings.</li> <li>Floor: An installation certificate has been provided for the vinyl floors from the date of manufacture of the motel room buildings in 2012. The certificate does not provide any details about compliance with BCA Clause C1.10 and Specification C1.10.</li> <li>Wall: Currently unknown</li> <li>Ceiling linings: Currently unknown</li> <li>Air-handling ductwork: Currently unknown</li> <li>Insulation: Currently unknown</li> </ul>	Noted



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Clause	[2019]	Description	Comments	Assessment
			As the motel room buildings were constructed in 2012 it will not be possible to be provided with documentation to confirm that the fire hazard properties have been complied with.	
C2D12	C1.11	Performance of external walls in fire	The buildings do not include any pre cast or tilt up panels.	N/A
C2D13	C1.13	Fire-protected timber: Concession	The buildings do not include any fire protected timber.	N/A
C2D14	C1.14	Ancillary elements	As the external walls are not required to be non- combustible the ancillary elements to the external walls are not required to comply with the requirements of this clause.	N/A
C2D15	4 ± 100	Fixing of bonded laminated cladding panels	The buildings are Type C Construction and therefore this requirement does not apply.	N/A
Part C3	- Compar	tmentation and se	paration	
C3D1	C2.0	DtS Provisions	Information only.	Noted
C3D2	C2.1	Application of Part	C3D3, C3D4, C3D5 do not apply to a carpark provided with an AS 2118 sprinkler system complying with Specification 17, an open deck carpark, or an open spectator stand.	Noted
C3D3	C2 2	General floor area and volume limitations	The proposal is within the area and volume limitations of this clause.	N/A
C3D4	C2.3	Large isolated building	The allotment does not include any large isolated buildings.	N/A
C3D5	C2.4	Requirements for open spaces and vehicular access	The allotment does not include any large isolated buildings.	N/A
C3D6	C2.5	Class 9 buildings	The allotment does not include any class 9 buildings.	N/A
C3D7	C2 6	Vertical separation of openings in external walls	The buildings are not of Type A construction and therefore this clause does not apply.	N/A
C3D8	C2.7	Separation by fire walls	Fire walls are not proposed to be used within the development to reduce the sizes of fire compartments.	N/A
C3D9	C2.8	Separation of classifications in the same storey	The alterations to the restaurant/amenities building does not affect the fire rated elements.	N/A
C3D10	C2.9	Separation of classifications in different storeys	Separation of floors is not required in any buildings in this allotment.	N/A
C3D11	C2.10	Separation of lift shafts	The existing lift in the restaurant/amenities building only connects 2 storeys and therefore this clause does not apply.	N/A
C3D12	C2.11	Stairways and lifts in one shaft	There are no fire isolated stairs proposed as part of the development.	N/A
C3D13	C2.12	Separation of equipment	The development does not include any equipment that requires separation.	N/A
C3D14	C2.13	Electricity supply system	The development does not include any electrical supply systems that requires separation.	N/A
C3D15	C2.14	Public corridors in a Class 2 and 3 buildings	There are no public corridors proposed in the development.	N/A
Part C4 -		n of openings		
C4D1	C3.0	DtS Provisions	Information only.	Noted
C4D2	C3.1	Application of Part	Information only.	Noted

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# 62 Osman Street, Blayney

Clause	[2019]	Description	Comments	Assessment
C4D3	C3.2	Protection of openings in external walls	There are no openings in external walls of the buildings considered to be exposed to a fire source feature.	N/A
C4D4	C3.3	Separation of external walls and associated openings in different fire compartments	The development does not contain different fire compartments separated by a fire wall and therefore this clause does not apply.	N/A
C4D5	C3.4	Acceptable methods of protection	There are no openings that require protection.	N/A
C4D6	C3.5	Doorways in fire walls	There are no doorways in fire walls proposed as part of the works.	N/A
C4D7	C3.6	Sliding fire doors	There are no doorways in fire walls proposed as part of the works.	N/A
C4D8	C3.7	Protection of doorways in horizontal exits	There are no doorways in fire walls proposed as part of the works.	N/A
C4D9	C3.8	Openings in fire- isolated exits	There are no fire isolated exits proposed as part of the works.	N/A
C4D10	C3.9	Service penetrations in fire-isolated exits	There are no fire isolated exits proposed as part of the works.	N/A
C4D11	C3.10	Openings in fire- isolated lift shafts	There are no fire isolated lift shafts proposed as part of the works.	N/A
C4D12	C3.11	Bounding construction: Class 2 and 3 buildings and Class 4 parts	The doorways to the motel rooms are not required to be fire rated.	N/A
C4D12	C3.12	Openings in floors and ceilings for services	No openings are proposed to be protected as part of the proposed works.	N/A
C4D14	C3.13	Openings in shafts	No openings are proposed to be protected as part of the proposed works.	N/A
C4D15	C3.15	Openings for service installations	Service penetrations through fire rated building elements are to be sealed in accordance with a tested system and manufacturer specifications in accordance with this Clause. No service penetrations through fire rated elements have been done as part of these works.	N/A
C4D16	C3.16	Construction joints	The motel rooms are not required to be provided with fire rated external walls.	Noted
C4D17	C3.17	Columns protected with lightweight construction to achieve an FRL	No new columns with lightweight construction were constructed as part of the works.	N/A
Specifica	tion 5 – Fir	Terroritin also satisfied that all all all all all all all all all a	ion [2019: Spec C1.1]	
S5C1	1	Scope	This Specification contains the requirements for fire resisting construction of building elements.	Noted
	2	General Requirements	*	3
S5C2	2,1	Exposure to FSF	The building is not exposed to FSF to each of the boundaries or from the other buildings on the allotment.	N/A

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Clause	[2019]	Description	Comments	Assessment
S5C3	2.2	Fire protection for support of another part	None of the buildings require an FRL to depend on direct vertical or lateral support from another part to maintain its FRL.	N/A
S5C4	2.3	Lintels	No new fire rated lintels required.	N/A
S5C5	2.4	Method of attachment reduce the fire- resistance of building element	The external walls are not required to be fire rated.	N/A
S5C6	2.5	General concessions	Information only	N/A
S5C7	2.6	Mezzanine floors: Concession	The building does not contain a mezzanine and therefore this clause does not apply.	N/A
S5C8	2.7	Enclosure of Shafts	Shafts required to have an FRL must be enclosed at the top and bottom by construction having an FRL not less than that required for the walls of a non-loadbearing shaft in the same building.	N/A
S5C9	2.8	Carparks in Class 2 and 3 buildings	The development does not include a carpark	N/A
S5C10	2.9	Residential aged care building: Concession	The building does not contain a residential aged care building and therefore this clause does not apply.	N/A
	3	Type A Constructio	n	
	A	The	development only includes Type C buildings.	
	5			
CEC 24	5 1	Type C Construction		nc
55C24	-5.1	Type C Construction Fire resistance of building elements	The building elements are to have FRLs as determined by this Clause. See Part 4 of the Report. It is noted that FRLs for external walls need only be measured from the external side of the wall. The external walls of the motel rooms buildings are located over 1.5m from a fire source feature and do not require an FRL. The walls between the rooms of the motel rooms building are required to be fire rated to achieve an FRL of 60/60/60 and is required to extend to the underside of the roof covering. It is unknown if the bounding walls of the motel rooms achieve the required FRL of 60/60/60 or if they extend to the underside of the roof covering. During a site inspection it was determined that the bounding walls did not extend to the ground level and therefore the walls did not comply with the requirement. A Fire Engineering Report has been prepared by Credwell Performance to justify the use of smoke alarms in lieu of ensuring the bounding walls between motel rooms are	PS
	5.1	Fire resistance of building elements	The building elements are to have FRLs as determined by this Clause. See Part 4 of the Report. It is noted that FRLs for external walls need only be measured from the external side of the wall. The external walls of the motel rooms buildings are located over 1.5m from a fire source feature and do not require an FRL. The walls between the rooms of the motel rooms building are required to be fire rated to achieve an FRL of 60/60/60 and is required to extend to the underside of the roof covering. It is unknown if the bounding walls of the motel rooms achieve the required FRL of 60/60/60 or if they extend to the underside of the roof covering. During a site inspection it was determined that the bounding walls did not extend to the ground level and therefore the walls did not comply with the requirement. A Fire Engineering Report has been prepared by Credwell Performance to justify the use of smoke alarms in lieu of ensuring the bounding walls between motel rooms are fully fire rated.	
55C25	5.2	Fire resistance of building elements	The building elements are to have FRLs as determined by this Clause. See Part 4 of the Report. It is noted that FRLs for external walls need only be measured from the external side of the wall. The external walls of the motel rooms buildings are located over 1.5m from a fire source feature and do not require an FRL. The walls between the rooms of the motel rooms building are required to be fire rated to achieve an FRL of 60/60/60 and is required to extend to the underside of the roof covering. It is unknown if the bounding walls of the motel rooms achieve the required FRL of 60/60/60 or if they extend to the underside of the roof covering. During a site inspection it was determined that the bounding walls did not extend to the ground level and therefore the walls did not comply with the requirement. A Fire Engineering Report has been prepared by Credwell Performance to justify the use of smoke alarms in lieu of ensuring the bounding walls between motel rooms are fully fire rated. This concession may be applied where applicable	PS N/A
S5C25	5.2 tion 6 – St ght constru	Fire resistance of building elements Carparks ructural tests for ligh	The building elements are to have FRLs as determined by this Clause. See Part 4 of the Report. It is noted that FRLs for external walls need only be measured from the external side of the wall. The external walls of the motel rooms buildings are located over 1.5m from a fire source feature and do not require an FRL. The walls between the rooms of the motel rooms building are required to be fire rated to achieve an FRL of 60/60/60 and is required to extend to the underside of the roof covering. It is unknown if the bounding walls of the motel rooms achieve the required FRL of 60/60/60 or if they extend to the underside of the roof covering. During a site inspection it was determined that the bounding walls did not extend to the ground level and therefore the walls did not comply with the requirement. A Fire Engineering Report has been prepared by Credwell Performance to justify the use of smoke alarms in lieu of ensuring the bounding walls between motel rooms are fully fire rated.	N/A
SSC25 pecifica ightwei	5.2 tion 6 – St ght constru tion 7 – Fin	Fire resistance of building elements Carparks ructural tests for ligh action has been show has prepared a FER to re hazard properties	The building elements are to have FRLs as determined by this Clause. See Part 4 of the Report. It is noted that FRLs for external walls need only be measured from the external side of the wall. The external walls of the motel rooms buildings are located over 1.5m from a fire source feature and do not require an FRL. The walls between the rooms of the motel rooms building are required to be fire rated to achieve an FRL of 60/60/60 and is required to extend to the underside of the roof covering. It is unknown if the bounding walls of the motel rooms achieve the required FRL of 60/60/60 or if they extend to the underside of the roof covering. During a site inspection it was determined that the bounding walls did not extend to the ground level and therefore the walls did not comply with the requirement. A Fire Engineering Report has been prepared by Credwell Performance to justify the use of smoke alarms in lieu of ensuring the bounding walls between motel rooms are fully fire rated. This concession may be applied where applicable <b>tweight construction [2019: Spec C1.8]</b> m on the plans for the construction of the bounding walls. Credve persolve the lack of fire separation between the motel rooms.	N/A well Performanc



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This clause does not apply to this development. Specification 10 – Fire-protected timber [2019: Spec C1.13a] This clause does not apply to this development. Specification 11 – Smoke-proof walls in health-care and residential care buildings [2019: Spec C2.5] This clause does not apply to this development. Specification 12 – Fire doors, smoke doors, fire windows and shutters [2019: Spec C3.4] This clause does not apply to this development.	Clause	[2019]	Description	Comments	Assessment
Specification 9 – Cavity barriers for fire-protected timber [2019: Spec C1.13] This clause does not apply to this development. Specification 10 – Fire-protected timber [2019: Spec C1.13a] This clause does not apply to this development. Specification 11 – Smoke-proof walls in health-care and residential care buildings [2019: Spec C2.5] This clause does not apply to this development. Specification 12 – Fire doors, smoke doors, fire windows and shutters [2019: Spec C3.4] This clause does not apply to this development. Specification 13 – Fire doors, smoke doors, fire windows and shutters [2019: Spec C3.15]	Specifica	tion 8 - Per	formance of external walls in	fire [2019: Spec C1.11]	
Specification 10 – Fire-protected timber [2019: Spec C1.13a] This clause does not apply to this development. Specification 11 – Smoke-proof walls in health-care and residential care buildings [2019: Spec C2.5] This clause does not apply to this development. Specification 12 – Fire doors, smoke doors, fire windows and shutters [2019: Spec C3.4] This clause does not apply to this development. Specification 13 – Fire doors, smoke doors, fire windows and shutters [2019: Spec C3.15]			This clause do	es not apply to this development.	
Specification 10 – Fire-protected timber [2019: Spec C1.13a] This clause does not apply to this development. Specification 11 – Smoke-proof walls in health-care and residential care buildings [2019: Spec C2.5] This clause does not apply to this development. Specification 12 – Fire doors, smoke doors, fire windows and shutters [2019: Spec C3.4] This clause does not apply to this development. Specification 13 – Fire doors, smoke doors, fire windows and shutters [2019: Spec C3.15]	Specifica	tion 9 - Cav	ity barriers for fire-protected	timber [2019: Spec C1.13]	
This clause does not apply to this development. Specification 11 – Smoke-proof walls in health-care and residential care buildings [2019: Spec C2.5] This clause does not apply to this development. Specification 12 – Fire doors, smoke doors, fire windows and shutters [2019: Spec C3.4] This clause does not apply to this development. Specification 13 – Fire doors, smoke doors, fire windows and shutters [2019: Spec C3.15]			This clause do	es not apply to this development.	
Specification 11 – Smoke-proof walls in health-care and residential care buildings [2019: Spec C2.5]         This clause does not apply to this development.         Specification 12 – Fire doors, smoke doors, fire windows and shutters [2019: Spec C3.4]         This clause does not apply to this development.         Specification 13 – Fire doors, smoke doors, fire windows and shutters [2019: Spec C3.15]	Specifica	tion 10 - Fi	re-protected timber [2019: Sp	ec C1.13a]	
This clause does not apply to this development. Specification 12 – Fire doors, smoke doors, fire windows and shutters [2019: Spec C3.4] This clause does not apply to this development. Specification 13 – Fire doors, smoke doors, fire windows and shutters [2019: Spec C3.15]			This clause do	es not apply to this development.	
Specification 12 – Fire doors, smoke doors, fire windows and shutters [2019: Spec C3.4] This clause does not apply to this development. Specification 13 – Fire doors, smoke doors, fire windows and shutters [2019: Spec C3.15]	Specifica	tion 11 - Sn	noke-proof walls in health-car	e and residential care buildings [2019: Sp	bec C2.5]
This clause does not apply to this development. Specification 13 – Fire doors, smoke doors, fire windows and shutters [2019: Spec C3.15]			This clause do	es not apply to this development.	
Specification 13 – Fire doors, smoke doors, fire windows and shutters [2019: Spec C3.15]	Specifica	tion 12 - Fi	re doors, smoke doors, fire wi	ndows and shutters [2019: Spec C3.4]	
			This clause do	es not apply to this development.	
This clause does not apply to this development.	Specifica	tion 13 - Fi	re doors, smoke doors, fire wi	ndows and shutters [2019: Spec C3.15]	
			This clause do	es not apply to this development.	

Clause	[2019]	Description	Comments	Assessment
Part D1	- Access an	d egress		
This part this Secti		bjectives, functional s	tatements, performance requirements and verification metho	ds relevant to
Part D2	- Provision	for escape	And the second sec	
D2D1	D1.0	DtS Provisions	Information only.	Noted
D2D2	D1.1	Application of Part	Information only.	Noted
D2D3	D1.2	Number of exits required	The provision of exits throughout the building complies.	Complies
D2D4	D1.3	When fire-isolated stairways and ramps are required	Fire isolated stairs are not required for this development.	N/A
D2D5	D1.4	Exit travel distances	The exit travel distances for the areas of the new works are within the limitations of this clause.	Complies
D2D6	D1.5	Distance between alternative exits	The distances between alternative exits for the new works are within the limitations of this clause.	Complies
1	D1.6	Dimensions of exits and paths of travel to exits		6-10 B
D2D7	D1.6(a)	Height of exits, paths of travel to exits and doorways	The required exit or path of travel to an exit must be not less than 2m in height. The reduction in height to 1980mm is permitted at any doorway.	CRA
D2D8	D1.6(b), (c), (d) and (e)	Width of exits and paths of travel to exits	A minimum clear width of 1m has been provided.	Complies
D2D9	D1,6(f)	Width of doorways in exits or paths of travel to exits	The minimum width of 750mm through a doorway is required unless otherwise specified in this clause.	Complies
D2D10	D1.6(g)	Exit width not to diminish in direction of travel	The unobstructed width of a required exit must not diminish in the direction of travel.	Complies
D2D11	D1.6(h) & (i)	Determination and measurement of exits and paths of travel to exits	A required stairway and/or ramp must have an unobstructed width (measured clear of handrails) of no less than 1,000mm.	N/A
D2D12	D1.7	Travel via fire- isolated exits	The development does not require new fire isolated exits.	N/A
D2D13	D1.8	External stairways or ramps in lieu of fire-isolated exits	There are no external stairways in lieu of fire-isolated stairways in the development.	N/A
D2D14	D1.9	Travel by non-fire- isolated stairways or ramps	The development does not require new non-fire isolated stairways or ramps.	N/A



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Clause	[2019]	Description	Comments	Assessment
D2D15	D1.10	Discharge from exits	The discharge from exits must comply with the requirements of this clause.	Complies
D2D16	D1.11	Horizontal exits	There are no horizontal exits in the development.	N/A
D2D17	D1.12	Non-required stairways, ramps or escalators	There are no escalator, moving walkway or non-required non fire-isolated stairway or pedestrian ramp proposed in the development.	N/A
D2D18	D1.13	Number of persons accommodated	The motel rooms do not require occupant calculations.	Noted
D2D19	D1.14	Measurement of distances	Information only.	Noted
D2D20	D1.15	Method of measurement	Information only.	Noted
D2D21	D1.16	Plant rooms, lift machine rooms, electricity network substations: Concession	The development does not include any new plant rooms, lift machine rooms, electricity network substations.	N/A
D2D22	D1.17	Access to lift pits	There are no new or altered lifts in the development.	N/A
D2D23	D1.18	Egress from primary schools	The building does not incorporate a Class 9b primary school and therefore this clause does not apply	N/A
Part D3 -	- Construc	tion of Exits		•
D3D1	D2.0	DtS Provisions	Information only.	Noted
D3D2	D2.1	Application of Part	Information only.	Noted
D3D3	D2.2	Fire-isolated stairways and ramps	There are no fire-isolated stairs within the development.	N/A
D3D4	D2.3	Non-fire-isolated stairways and ramps	The construction of non-fire-isolated exit stairway(s) must be in accordance with this provision	N/A
D3D5	D2.4	Separation of rising and descending stair flights	The development does not incorporate rising and descending stair flights and therefore this clause does not apply.	N/A
D3D6	D2.5	Open access ramps and balconies	The development is not proposed to be provided with open access ramp or balconies to meet the smoke hazard management requirements of E2D4-E2D13 and therefore this clause does not apply.	N/A
D3D7	D2.6	Smoke lobbies	The development is not required to be provided with a smoke lobby required by D2D12 and therefore this clause does not apply.	N/A
D3D8	D2.7	Installations in exits and paths of travel	Access to services must be in accordance with this provision.	N/A
D3D9	D2.8	Enclosure of space under stairs and ramps	The development does not include any stairways which can have the undersides enclosed.	N/A
D3D10	D2.9	Width of required stairways and ramps	The plans do not show a required stairway or ramp with a width over 2m.	N/A
D3D11	D2.10	Pedestrian ramps	There are no ramps within the buildings serving as a required exit shown on the current plans.	N/A
D3D12	D2.11	Fire-isolated passageways	The development does not include any new fire isolated passageways.	N/A
D3D13	D2.12	Roof as open space	There is no roof that has been assessed as open space.	N/A
D3D14	D2.13	Goings and risers	The Building Information Certificate application does not include any stair construction.	N/A

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Clause	[2019]	Description	Comments	Assessment
D3D15	D2.14	Landings	The Building Information Certificate application does not include any stair construction.	N/A
D3D16 D2.15	D2.15	Thresholds	<ul> <li>The door threshold from the non-accessible motel rooms includes a step of up to two risers in lieu of being provided with a landing. This is a technical non-compliance as the maximum change in level from the door sill is meant to be 190mm.</li> <li>The additional step at the doorway to the non-accessible rooms complies with Performance Requirement <i>DP2 Safe movement to and within a building</i> as:</li> <li>the walking surface still has a safe gradient,</li> <li>the door does not have any additional risk of the egress being impeded or occupants being trapped in the building, and</li> </ul>	Compliance with Performance Requirement achieved.
	D2.16	Barriers to	<ul> <li>the stairs still have suitable walking surfaces.</li> </ul>	N/A
	02.10	prevent falls		N/A
D3D17	D2.16(a), (b) and (c)	Barriers to prevent falls	Trafficable surfaces above a meter in height are to be provided with a barrier. The Building Information Certificate application does not include any surfaces which requires barriers to prevent falls.	N/A
D3D18	Table D2.16a	Height of barriers	Generally, the minimum barrier height required is 1m in height. However, on stairways and ramps the minimum barrier height required is 865mm. The Building Information Certificate application does not include any surfaces which requires barriers to prevent falls.	N/A
D3D19		Openings in barriers	The openings are to comply with the requirements of this clause. The Building Information Certificate application does not include any surfaces which requires barriers to prevent falls.	N/A
D3D20		Barrier climbability	Barriers required on a floor more than 4m above the surface beneath must not incorporate climbable elements between 150mm to 760mm. The Building Information Certificate application does not include any surfaces which requires barriers to prevent falls.	N/A
D3D21		Wire barriers	Wire barriers must be in accordance with this provision The Building Information Certificate application does not include any surfaces which requires barriers to prevent falls.	N/A
D3D22	D2.17	Handrails	Handrails are to comply with this Clause. The Building Information Certificate application does not require handrails.	N/A
D3D23	D2.18	Fixed platforms, walkways, stairways and ladders	This requirement is not proposed in the development.	N/A
D3D24	D2.19	Doorways and doors	The new doorways and doors throughout the building comply.	Complies
D3D25	D2.20	Swinging doors	The swinging exit doors throughout the building comply.	Complies
D3D26	D2.21	Operation of latch	All new exit doorways in the modified part of the administration building have been provided with latches compliant with the requirements of this clause.	Complies
D3D27	D2.22	Re-entry from fire- isolated exits	The development does not propose any new fire-isolated stairways.	N/A
D3D28	D2,23	Signs on doors	Signage is to be located on all fire and smoke doors in accordance with this Clause. For self-closing doors the sign is to stay "FIRE SAFETY DOOR DO NOT OBSTRUCT DO NOT KEEP OPEN" and for the door discharging from a fire- isolated exit "FIRE SAFETY DOOR – DO NOT OBSTRUCT".	N/A



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Clause	[2019]	Description	Comments	Assessment
			The text is to be a minimum of 20mm in height and a	
	1.22.7		colour contrasting to the background of the sign.	
D3D29	D2.24	Protection of openable windows	Windows to the bedrooms of the Class 2 and 3 parts are to be provided with window locks in accordance with this Clause. As the motel rooms are at ground level this clause	N/A
			does not apply.	
D3D30	D2.25	Timber stairway: Concession	No fire-isolated stairways provided on the current plans. therefore this concession is not available.	N/A
Part D4 -	<ul> <li>Access for</li> </ul>	or People with a Dis	sability	
D4D1	D3.0	DtS Provisions	Information only.	Noted
D4D2	D3.1	General building access requirements	Access must be provided to each Classification within the building in accordance with the following:	
			Class 3 motel rooms As there are 102 sole occupancy units under Table D4D2b at least 6 of the units are to be made accessible. In the DA for the development post BIC there are now 6 accessible rooms shown.	CRA
			Class 3 motel rooms continued	CRA
			As the motel rooms are all accessed from ground level access should be provided to the door of each motel room. As the non-accessible rooms are elevated and require steps to access the rooms they do not meet the accessibility requirements as the accessible path of travel is not provided to the door.	
			Given that a visitor to these motel rooms are not required to be provided access to within the rooms it is reasonable to only require a wheelchair person the ability to reach the door (to knock or otherwise notify the occupant) rather than provide a circulation space at the door. As such it is reasonable to show discretion to not require an accessible path of travel to the non-accessible motel rooms as part of the BIC.	
			Class 3 common areas	CRÀ
			To and within not less than one (1) of each type of room or space for use in common by the residents.	
			<ul> <li>Where a ramp complying with AS 1428.1-2009 or a passenger lift is installed -</li> <li>a. to the entrance doorway of each sole-occupancy unit; and</li> <li>b. to and within rooms or spaces for use in common by the residents, located on the levels served by the lift or ramp.</li> </ul>	N/A
			The Building Information Certificate does not include any areas that are required to be accessible via a lift or ramp.	
			<u>Class 6</u> Access is to be provided to and within all areas normally used by the occupants. The restaurant area does not form part of the Building	N/A
			Information Certificate application.	1
D4D3	D3.2	Access to buildings	An accessway must be provided to a building required to be accessible - i. from the main points of a pedestrian entry at the allotment boundary; and	Noted



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Clause	[2019]	Description	Comments	Assessment
			<ul> <li>ii. from another accessible building connected by a pedestrian link; and</li> <li>iii. from any required accessible carparking space on the allotment.</li> <li>Also, access must be provided through the principal pedestrian entrances of the building.</li> </ul>	
			Pathways have been provided throughout the development from the street, to the carpark and to each building which are to be finalised as part of the Construction Certificate works. These works fall outside the scope of the Building Information Certificate.	
D4D4	D3.3	Part of buildings to be accessible	Pathways have been provided throughout the development from the street, to the carpark and to each building which are to be finalised as part of the Construction Certificate works. These works fall outside the scope of the Building Information Certificate.	Noted
D4D5	D3.4	Exemptions	No parts of the new works have been exempted under this clause.	Noted
D4D6	D3.5	Accessible carparking	Class 3 In Class 3 where a carpark is associated with the building, for each accessible unit in the development, an accessible car parking space is to be provided. 6 accessible carparking spaces have been shown. Class 6 In a class 6 building a single accessible bay is to be	Complies
D4D7	D3.6	Signage	provided for every 50 car parking spaces. This would require an additional accessible carparking space. Braille and tactile signage is to be provided in accordance with this Clause and Specification D3.6, throughout the	CRA
			building. Signage will need to be located to achieve compliance. Signs with single lines of characters must have: a) the line of tactile (braille) characters not less than 1250 mm and not higher than 1350 mm above the floor; and b) be located on the latch side of the door 50-300mm from the architrave. Where this is not possible and only when this is not possible the sign may be placed on the door itself.	
			Where illuminated exit signage is provided to an exit door a braille and tactile sign complying with this Clause is to be provided stating "Exit" and the level number and/or/or both descriptors, for example "Basement Level, Carpark".	
D4D8	D3.7	Hearing augmentation	Required in auditoriums, conference room, or the like, ticket booths, reception areas, areas where the public is screened off from the service provider and in class 9b buildings.	N/A
D4D9	D3.8	Tactile indicators	Tactile indicators are to be provided to warn people that they are approaching a stairway, ramp or overhead obstruction. Tactiles are to comply with this Clause and AS/NZS1428.4.1-2009.	CRA
D4D10	D3.9	Wheelchair seating spaces in Class 9b assembly buildings	There is no Class 9b part in the development.	N/A
D4D11	D3.10	Swimming pools	The development does not include a swimming pool.	N/A
D4D12	D3.11	Ramps	On an access way, a series of connected ramps are not to have a combined vertical rise of 3.6m or more. A landing for a step ramp may not overlap a landing for another step ramp or ramp.	N/A



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Clause	[2019]	Description	Comments	Assessment
D4D13	D3.12	Glazing on an accessway	On an access way, where there is no chair rail, handrail or transom, all frameless or fully glazed doors, sidelights and any glazing capable of being mistaken for a doorway or opening, must be clearly marked in accordance with AS/NZS1428.4.1-2009.	CRA
Specificat	tion 14 - No	n-required stairways	, ramps and escalators [2019: Spec D1.12]	· · · · · ·
		There are	e no non-required stairs within the new works.	
Specificat	tion 15 - Bra	aille and tactile signs	[2019: Spec D3.6]	
Tactile in	dicators are		rn people that they are approaching a stairway, ramp or overh comply with this Clause and AS/NZ51428.4.1-2009.	ead obstruction.
Specificat	tion 16 - Ac	cessible water entry	/exit from swimming pools [2019: Spec D3.10]	
14 - 14 - 14 - 14 - 14 - 14 - 14 - 14 -		The dev	elopment does not include a swimming pool.	

Clause	[2019]	Description	Comments	Assessment
		ting equipment		
E1D1	E1.0	DtS Provisions	Information only.	Noted
E1D2	E1.3	Fire hydrants	The restaurant/amenities building is required to be provided with a Hydrant System in accordance with this provision and AS 2419.1. This is outside the scope of the Building Information Certificate. The hydrant system is not required for the new motel room buildings.	N/A
E1D3	E1.4	Fire hose reels	The restaurant/amenities building is required to be provided with a Fire Hose Reel System in accordance with this provision and AS 2441. This is outside the scope of the Building Information Certificate. The hose reel system is not required for the new motel room buildings.	N/A
NSW E1D4	E1.5	Sprinklers	A sprinkler system must— (a) be installed in a building or part of a building when required by E1D5 to E1D12 as applicable; and (b) comply with Specification 17 and Specification 18 as applicable	N/A
E1D5	Table E1.5	Where sprinklers are required: all classifications	The buildings do not have an effective height of more than 25m and therefore this clause does not apply.	N/A
E1D6	Table E1.5	Where sprinklers are required: Class 2 and 3 buildings other than residential care buildings	The buildings contains less than 4 storeys and therefore this clause does not apply.	N/A
E1D7	Table E1,5	Where sprinklers are required: Class 3 building used as a residential care building	The buildings do not contain class 3 residential care areas and therefore this clause does not apply.	N/A
E1D8	Table E1.5	Where sprinklers are required: Class 6 building	Sprinklers are not required as the building contains a class 6 part with a fire compartment less than: (a) A floor area of 3 500 m2, (b) A volume of 21 000 m3.	N/A
E1D9	Table E1.5	Where sprinklers are required: Class 7a building, other than an open-deck carpark	The buildings do not contain class 7a carpark with a fire compartment that accommodates more than 40 vehicles and therefore this clause does not apply.	N/A

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## Ref:230396-BCA-r1 BIC

# 62 Osman Street, Blayney

Clause	[2019]	Description	Comments	Assessment
E1D10	E1.5 are required: Class 9a health-care building used as a residential care building, Class 9c buildings		N/A	
E1D11	Table E1.5	Where sprinklers are required: Class 9b buildings	The buildings do not contain class 9b use and therefore this clause does not apply.	N/A
E1D12	Table E1.5	Where sprinklers are required: additional requirements	The buildings do not contain an atrium and has not been assessed as a large isolated building and therefore this clause does not apply.	N/A
E1D13	Table E1_5 (note 4)	Where sprinklers are required: occupancies of excessive hazard	The buildings does not contain excessive hazards and therefore this clause does not apply.	N/A
E1D14	E1.6	Portable fire extinguishers	The buildings are to be provided with portable fire extinguishers in accordance with this provision and AS 2444. Portable fire extinguishers are to be provided within 10m of the entrance doorway of each sole-occupancy unit.	CRA
E1D15	E1.8	Fire control centres	The buildings have an effective height of less than 25m and therefore this clause does not apply.	N/A
E1D16	E1.9	Fire precautions during construction	In a building under construction not less than one fire extinguisher to suit Class A, B and C fires and electrical fires must be provided at all times on each storey adjacent to each required exit or temporary stairway or exit. After the building has reached an effective height of 12m the fire hydrant and hose reels are to be operational in at least every storey covered by a roof or floor, except the 2 uppermost storeys. The fire hydrant booster connections must also be installed.	Noted
E1D17	E1.10	Provisions for special hazards	No special hazards have been identified at this time. Any proposed special hazards such as EV charging stations, or battery storage are to be detailed as part of the Construction Documentation.	N/A
	A	zard management		
E2D1 E2D2	E2.0	DtS Provisions	Information only. Information only.	Noted
E2D2 E2D3	E2.1 E2.2	Application of Part General requirements	An air-handling system which does not form part of a smoke hazard management system in accordance with E2D4 to E2D20 and which recycles air from one fire compartment to another fire compartment or operates in a manner that may unduly contribute to the spread of smoke from one fire compartment to another fire compartment must comply with the requirements of this clause	Noted N/A
E2D4	Table E2.2a	Fire-isolated exits	The buildings are not required to be provided with fire isolated exits and therefore this clause does not apply.	N/A
E2D5	Table E2.2a	Buildings more than 25 m in effective height: Class 2 and 3 buildings and Class 4 part of a building	The buildings have an effective height of less than 25m and therefore this clause does not apply.	N/A
E2D6	Table E2.2a	Buildings more than 25 m in effective height:	The buildings have an effective height of less than 25m and therefore this clause does not apply.	N/A



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# 62 Osman Street, Blayney

Clause	[2019]	Description	Comments	Assessment
		Class 5, 6, 7b, 8 or 9b buildings		
E2D7	Table E2.2a	Buildings more than 25 m in effective height: Class 9a buildings	The buildings have an effective height of less than 25m and therefore this clause does not apply.	N/A
E2D8	Table E2.2a	Buildings not more than 25 m in effective height: Class 2 and 3 buildings and Class 4 part of a building	The motel sole-occupancy units are to be provided with an automatic smoke alarm system. Installation certificates have been provided for smoke alarms based off the installation date of 2012. Credwell Performance has prepared a performance solution for heightened smoke alarm system be installed throughout the complex so that each block of motel rooms is interconnected to reduced construction of the fire separation of the motel rooms.	PS
E2D9	Table E2.2a	Buildings not more than 25 m in effective height: Class 5, 6, 7b, 8 and 9b buildings	This clause does not apply to this development as the restaurant being Class 6 is not more than 2 storeys.	N/A
E2D10	Table E2.2a	Buildings not more than 25 m in effective height: large isolated buildings subject to C3D4	This clause does not apply to this development as it is not a large-isolated buildings subject to C3D4.	N/A
E2D11	Table E2.2a	Buildings not more than 25 m in effective height: Class 9a and 9c buildings	This clause does not apply to this development as it is not a Class 9a and 9c buildings	N/A
E2D12	Table E2.2a	Class 7a buildings	This clause does not apply as the development does not include a carpark building.	N/A
E2D13	Table E2.2a	Basements (other than Class 7a buildings)	This clause does not apply to this development as it does not contain a new basement.	N/A
E2D14	Table E2.2b	Class 6 buildings – in fire compartments more than 2000 m2: Class 6 building (not containing an enclosed common walkway or mall serving more than one Class 6 sole- occupancy unit)	This clause does not apply to this development as it does not contain a Class 6 buildings in fire compartments more than 2000 m2 containing an enclosed common walkway or mall serving more than one Class 6 sole-occupancy unit.	N/A
E2D15	Table E2.2b	Class 6 buildings – in fire compartments more than 2000 m2: Class 6 building (containing an enclosed common walkway or mall)	This clause does not apply to this development as it does not contain Class 6 buildings in fire compartments more than 2000 m2 containing an enclosed common walkway or mall.	N/A
E2D16	Table E2.2b	Class 9b – assembly buildings:	This clause does not apply to this development as it does not contain Class 9b assembly buildings nightclubs, discotheques and the like.	N/A



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# 62 Osman Street, Blayney

Clause	[2019]	Description	Comments	Assessment
		nightclubs, discotheques and the like		
E2D17	Table E2.2b	Class 9b – assembly buildings: exhibition halls	This clause does not apply to this development as it does not contain Class 9b assembly buildings exhibition halls.	N/A
E2D18	Table E2.2b	Class 9b – assembly buildings: theatres and public halls	This clause does not apply to this development as it does not contain Class 9b assembly buildings theatres and public halls.	N/A
E2D19	Table E2.2b	Class 9b – assembly buildings: theatres and public halls (not listed in E2D18) including lecture theatres and cinema/auditorium complexes	This clause does not apply to this development as it does not contain Class 9b assembly buildings theatres and public halls (not listed in E2D18) including lecture theatres and cinema/auditorium complexes.	N/A
E2D20	Table E2.2b	Class 9b assembly buildings: other assembly buildings (not listed in E2D16 to E2D19)	This clause does not apply to this development as it does not contain Class 9b assembly buildings other assembly buildings (not listed in E2D16 to E2D19).	N/A
E2D21	E2.3	Provision for special hazards	No special hazards have been identified at this time.	N/A
Part E3 -	Lift instal			-
Т	his develo	oment does not includ	e a new lift. Therefore this Part has been removed from the asse	essment.
				and the state
	Visibility i	in an emergency, exit	signs and warning systems	
E4D1	E4.0	in an emergency, exit DtS Provisions	signs and warning systems Information only.	Noted
	Visibility i	in an emergency, exit	signs and warning systems Information only. Emergency lighting is not required to be provided to the verandahs to the motel rooms. Emergency lighting is to be provided to the area of the works within the amenities building that is subject to the	
E4D1	E4.0	in an emergency, exit DtS Provisions Emergency lighting	signs and warning systems Information only. Emergency lighting is not required to be provided to the verandahs to the motel rooms. Emergency lighting is to be provided to the area of the	Noted
E4D1 E4D2	Visibility i E4.0 E4.2	in an emergency, exit : DtS Provisions Emergency lighting requirements Measurement of	signs and warning systems Information only. Emergency lighting is not required to be provided to the verandahs to the motel rooms. Emergency lighting is to be provided to the area of the works within the amenities building that is subject to the Building Information Certificate.	Noted CRA
E4D1 E4D2 E4D3	Visibility i E4.0 E4.2 E4.3	in an emergency, exit : DtS Provisions Emergency lighting requirements Measurement of distance Design and operation of	signs and warning systems Information only. Emergency lighting is not required to be provided to the verandahs to the motel rooms. Emergency lighting is to be provided to the area of the works within the amenities building that is subject to the Building Information Certificate. Information only. Emergency lighting is to be provided to the area of the works within the amenities building that is subject to the	Noted CRA Noted
E4D1 E4D2 E4D3 E4D4	Visibility i E4.0 E4.2 E4.3 E4.4	in an emergency, exit : DtS Provisions Emergency lighting requirements Measurement of distance Design and operation of emergency lighting	signs and warning systems Information only. Emergency lighting is not required to be provided to the verandahs to the motel rooms. Emergency lighting is to be provided to the area of the works within the amenities building that is subject to the Building Information Certificate. Information only. Emergency lighting is to be provided to the area of the works within the amenities building that is subject to the Building Information Certificate. Extension only. Extension on the amenities building that is subject to the Building Information Certificate. Exit signs are to be provided to the area of the works within the amenities building that is subject to the Building	Noted CRA Noted CRA
E4D1 E4D2 E4D3 E4D4 E4D5	Visibility i E4.0 E4.2 E4.3 E4.4 E4.5	in an emergency, exit : DtS Provisions Emergency lighting requirements Measurement of distance Design and operation of emergency lighting Exit signs	signs and warning systems Information only. Emergency lighting is not required to be provided to the verandahs to the motel rooms. Emergency lighting is to be provided to the area of the works within the amenities building that is subject to the Building Information Certificate. Information only. Emergency lighting is to be provided to the area of the works within the amenities building that is subject to the Building Information Certificate. Exit signs are to be provided to the area of the works within the amenities building that is subject to the Building Information Certificate. Exit signs are to be provided to the area of the works within the amenities building that is subject to the Building Information Certificate. Directional signs are to be provided to the area of the works within the amenities building that is subject to the Building	Noted CRA Noted CRA CRA
E4D1 E4D2 E4D3 E4D4 E4D5 E4D6	Visibility i E4.0 E4.2 E4.2 E4.3 E4.4 E4.5 E4.6	in an emergency, exit : DtS Provisions Emergency lighting requirements Measurement of distance Design and operation of emergency lighting Exit signs Direction signs Class 2 and 3 buildings and Class 4 parts:	signs and warning systems Information only. Emergency lighting is not required to be provided to the verandahs to the motel rooms. Emergency lighting is to be provided to the area of the works within the amenities building that is subject to the Building Information Certificate. Information only. Emergency lighting is to be provided to the area of the works within the amenities building that is subject to the Building Information Certificate. Exit signs are to be provided to the area of the works within the amenities building that is subject to the Building Information Certificate. Exit signs are to be provided to the area of the works within the amenities building that is subject to the Building Information Certificate. Directional signs are to be provided to the area of the works within the amenities building that is subject to the Building Information Certificate.	Noted CRA Noted CRA CRA CRA
E4D1 E4D2 E4D3 E4D4 E4D5 E4D6 E4D7	Visibility i E4.0 E4.2 E4.2 E4.3 E4.4 E4.5 E4.5 E4.6 E4.7	in an emergency, exit : DtS Provisions Emergency lighting requirements Measurement of distance Design and operation of emergency lighting Exit signs Direction signs Class 2 and 3 buildings and Class 4 parts: Exemptions Design and operation of exit	signs and warning systems Information only. Emergency lighting is not required to be provided to the verandahs to the motel rooms. Emergency lighting is to be provided to the area of the works within the amenities building that is subject to the Building Information Certificate. Information only. Emergency lighting is to be provided to the area of the works within the amenities building that is subject to the Building Information Certificate. Exit signs are to be provided to the area of the works within the amenities building that is subject to the Building Information Certificate. Exit signs are to be provided to the area of the works within the amenities building that is subject to the Building Information Certificate. Directional signs are to be provided to the area of the works within the amenities building that is subject to the Building Information Certificate. Exit signs are not required to the motel rooms. Exit signs are to be provided to the area of the works within the amenities building that is subject to the Building Information Certificate. Exit signs are not required to the area of the works within the amenities building that is subject to the Building Information Certificate. Exit signs are not required to the motel rooms.	Noted CRA Noted CRA CRA CRA N/A
E4D1 E4D2 E4D3 E4D4 E4D5 E4D5 E4D6 E4D7 E4D8 E4D9	Visibility i E4.0 E4.2 E4.3 E4.3 E4.4 E4.5 E4.6 E4.7 E4.8 E4.8 E4.9	in an emergency, exit : DtS Provisions Emergency lighting requirements Measurement of distance Design and operation of emergency lighting Exit signs Direction signs Class 2 and 3 buildings and Class 4 parts: Exemptions Design and operation of exit signs Emergency warning and	signs and warning systems         Information only.         Emergency lighting is not required to be provided to the verandahs to the motel rooms.         Emergency lighting is to be provided to the area of the works within the amenities building that is subject to the Building Information Certificate.         Information only.         Emergency lighting is to be provided to the area of the works within the amenities building that is subject to the Building Information Certificate.         Extra signs are to be provided to the area of the works within the amenities building that is subject to the Building Information Certificate.         Directional signs are to be provided to the area of the works within the amenities building that is subject to the Building Information Certificate.         Exit signs are not required to the motel rooms.         Exit signs are to be provided to the area of the works within the amenities building that is subject to the Building Information Certificate.         Exit signs are not required to the motel rooms.         Exit signs are to be provided to the area of the works within the amenities building that is subject to the Building Information Certificate.         Exit signs are to be provided to the area of the works within the amenities building that is subject to the Building Information Certificate.         Exit signs are to be provided to the area of the works within the amenities building that is subject to the Building Information Certificate.         The buildings does not require EWIS.	Noted CRA Noted CRA CRA CRA CRA

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Ref:230396-BCA-r1 BIC

62 Osman Street, Blayney

Clause	[2019]	Description	Comments	Assessment
		The buildin	gs do not require sprinklers.	
Specifica	ition 19 - Fin	e control centres [2019: Spec E	1.8]	
This spe	cification de	pes not apply to the developme	nt as it is not required to have a fire contr	ol centre by clause E1D15.
Specifica	tion 20 - Sn	noke detection and alarm syste	ms [2019: Spec E2.2a]	
	1	he installation of smoke alarms	is subject to a proposed Fire Engineering	Report.
Specifica	tion 21 - Sn	noke exhaust systems [2019: Sp	ec E2.2b]	
1000 - 1000		The buildings do n	ot require smoke exhaust systems.	
Specifica	tion 22 - Sn	noke and heat vents [2019: Spe	c E2.2c]	
1.1.1.1		The buildings	do not require smoke and heat vents	
Specifica	tion 23 - Re	sidential fire safety systems [2	019: Spec E2.2d]	
		The buildin	gs do not require sprinklers.	
Specifica	tion 24 - Lif	t installations [2019: Spec E3.1	0	
1		This developm	ent does not propose a new lift.	
Specifica	tion 25 – Ph	otoluminescent exit signs [201	9: Spec E4.8]	
Details o	f the exit sig	ns are either to be provided on	the plans or otherwise checked via physic	al inspection.

Clause	[2019]	Description	Comments	Assessment
Part F1	- Surface wa	ter management, ri	sing damp and external waterproofing	
F1D1	F1.0	DtS Provisions	Information only.	Noted
F1D2	New	Application of Part	Information only	Noted
F1D3	F1.1	Stormwater drainage	Stormwater drainage has been designed by Barker Ryan Stewart. Design and installation certification is to be provided by the design engineer.	CRA
F1D4	New	Exposed joints	The roof sheets to the motel room buildings are existing and no further works are proposed.	N/A
F1D5	F1.4	External waterproofing membranes	No new external waterproofing membranes are proposed or required.	N/A
F1D6	F1.9	Damp-proofing	Moisture from the ground must be prevented from reaching the lowest floor timber and walls, above the damp proof course. The motel room buildings are elevated off the ground level and meet the requirements of this clause.	CRA
F1D7	F1.10	Damp-proofing of floors on the ground	The motel buildings are elevated above the ground level and therefore these requirements do not apply.	N/A
F1D8	F1.12	Subfloor ventilation	The motel buildings are to be provided with subfloor ventilation.	CRA
Part F2	-Wet areas	and overflow protein	ction	
F2D1	New	DtS Provisions	Information only.	Noted
F2D2	F1.7(a) and (b)	Wet area construction	The wet areas for the motel room buildings is existing and is not subject to this review. The waterproofing of the bathrooms in the altered Office building will require documentation for the works that have already been completed.	CRA
F2D3	F1.7 (c), (d) and (e)	Rooms containing urinals	There are no new urinals proposed for these works.	N/A
F2D4	F1,11	Floor wastes	There are no new floor wastes located over habitable space.	N/A
Part F3	- Roof and w	all cladding		
F3D1	New	DtS Provisions	Information only.	Noted
F3D2	F1.5	Roof coverings	The roof coverings of the motel room buildings are existing.	N/A
F3D3	F1.6	Sarking	The motel room buildings are existing and therefore this clause does not apply.	N/A
F3D4	F1.13	Glazed assemblies	The motel room buildings are existing and therefore this clause does not apply.	N/A



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# 62 Osman Street, Blayney

Clause	[2019]	Description	Comments	Assessment
			It is noted that glazing installation certificates have been provided from the time of installation in 2012.	
F3D5	New	Wall cladding	The motel room buildings are existing and therefore this clause does not apply.	N/A
Part F4 -	- Sanitary a	nd other facilities		1
F4D1	F2.0	DtS Provisions	Information only.	
F4D2	F2.1	Facilities in residential buildings	Each sole-occupancy unit has been provided with a shower, closet pan and washbasin.	Complies
F4D3	F2.2	Calculation of number of occupants and facilities	The use of the buildings that are subject to this development do not require calculation under this clause.	Noted
F4D4	F2.3	Facilities in Class 3 to 9 buildings	Sanitary facilities are required for staff members. The number of staff members are to be nominated by the operator. There are currently 3 unisex toilets provided in lieu of providing separate male and female sanitary facilities.	Noted
F4D5	F2.4	Accessible sanitary facilities	The amenities part of the restaurant building includes a new accessible sanitary facility. The accessible toilet is suitably sized to achieve the required sanitary facilities.	
			The building includes a single unisex ambulant facility in lieu of having an ambulant facility for both males and females.	
		_	Given that it serves only to the laundry area and the administration area it is reasonable to only provide shared ambulant facilities.	CRA
F4D6	Table F2.4a	Accessible unisex sanitary compartments	An accessible toilet has been shown on the plans for the accessible sole-occupancy units. The accessible toilet is suitably sized to achieve the required sanitary facilities.	CRA
F4D7	Table F2,4B	Accessible unisex showers	An accessible toilet has been shown on the plans for the accessible sole-occupancy units. The accessible toilet is suitably sized to achieve the required sanitary facilities.	CRA
F4D8	F2.5	Construction of sanitary compartments	The sanitary compartments are capable of complying with the requirements of this clause.	Complies
F4D9	F2.6	Interpretation: Urinals and washbasins	The development does not include any new urinals. A trough of basins is counted based on the number of taps.	Noted
F4D10	F2.7	Microbial (legionella) control	This Clause is deleted from the BCA in NSW, as the installation of hot water, warm water and cooling water systems is regulated in the Public Health Regulation 2012.	Noted
F4D11	F2.8	Waste management	In a Class 9a health care building a slop hopper or other like device is to be provided in accordance with this Clause.	N/A
F4D12	F2.9	Accessible adult change facilities	The buildings are not required to be provided with accessible adult change facilities.	N/A
	Room height	The second se		
F5D1	F3.0	DtS Provisions	Information only.	Noted
F5D2	F3.1	Height of rooms and other spaces	The motel sole occupancy units have been shown on the plans as having 2.4m high ceilings.	Complies
	Light and ver			
F6D1	F4.0	DtS Provisions	Information only.	Noted
F6D2	F4,1	Provisions of natural light	The motel sole occupancy units are to be provided with natural light.	Complies
F6D3	F4.2	Methods and extent of natural light	The motel sole occupancy units have been provided with sufficient windows and glazed doors to provide the required natural light.	Complies



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# 62 Osman Street, Blayney

Clause	[2019]	Description	Comments	Assessment
F6D4	F4.3	Natural light borrowed from adjoining room	Natural light is not required to be borrowed from adjoining rooms.	N/A
F6D5	F4.4	Artificial lighting	Artificial lighting is to be provided in accordance with this clause.	CRA
F6D6	F4.5	Ventilation of rooms	The motel sole-occupancy units have been provided with mechanical ventilation.	CRA
F6D7	F4,6	Natural ventilation	The motel sole-occupancy units have been provided with mechanical ventilation.	Noted
F6D8	F4.7	Ventilation borrowed from adjoining room	The motel sole-occupancy units have been provided with mechanical ventilation.	Noted
F6D9	F4.8	Restriction on location of sanitary compartments	The sanitary compartments do not open directly into the restricted areas per the requirements of this clause.	Complies
F6D10	F4.9	Airlocks	The sanitary facilities do not require air locks.	N/A
F6D11	F4.11	Carparks	The development does not include a carpark building.	N/A
F6D12	F4.12	Kitchen local exhaust ventilation	The building does not contain a commercial kitchen as part of these works and therefore this clause does not apply.	N/A
		mission and insulation		
F7D1	F5.0	DtS Provisions	Information only.	Noted
F7D2	F5.1	Application of Part	The motel rooms are required to be provided with sound insulation from one another.	Noted
F7D3	F5.2	Determination of airborne sound insulation ratings	Information only.	Noted
F7D4	F5.3	Determination of impact sound insulation ratings	Information only.	Noted
F7D5	F5.4	Sound insulation rating of floors	The floors are not required to be provided with sound insulation.	N/A
F7D6	F5.5	Sound insulation rating of walls	The walls between the motel rooms are required to be provided with sound insulation. This requires an $R_w + C_{tr}$ of not less than 50. Under the Performance Requirement of Clause F7P2 the sole-occupancy unit bounding walls may have a site measured rating of $D_{nT,w} + C_{tr}$ of 45. On site measurements were taken by Acoustik on the 4 October 2023. These sound ratings ranged from around of $D_{nT,w} + C_{tr}$ of 40 between bedrooms of the motel rooms to an of $D_{nT,w} + C_{tr}$ of 21 between the ensuites of the motel rooms. The $D_{nT,w} + C_{tr}$ between ensuites was increased to approximately 40 between bedrooms when both ensuite doors are closed. While the sound measurements taken on site by Acoustik do not meet the minimum $D_{nT,w} + C_{tr}$ of 45	Alternative compliance proposed
			under Performance Requirement F7P2 based on the assessment of the Acoustik report the sound insulation provided by the walls and between the ensuites should be sufficient for sleeping where the following measures have been achieved: 1. Information is provided to occupants that the accommodation falls short of the NCC requirements regarding sound isolation between rooms 2. Noisy activity in bedrooms rooms is not permitted and especially during sleeping periods noting that shift	



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# 62 Osman Street, Blayney

Clause	[2019]	Description	Comments	Assessment
			workers may be sleeping during the day. Primarily the bedrooms are for sleeping and relaxation	
			<ol> <li>Occupants are advised to close ensuite doors when ensuite is not in use to improve sound isolation to adjoining SOU</li> </ol>	
		1	<ol> <li>Signage will be posted in common areas of the development and in rooms regarding noise creation. Loud phone conversations in bedrooms are to be avoided.</li> </ol>	
F7D7	F5.6	Sound insulation rating of internal services	The buildings are only single storey and therefore these requirements do not apply.	N/A
F7D8	F5.7	Sound isolation of pumps	No pumps are proposed as part of these works.	N/A
Specificat F1.7]	ion 26 – Wa	terproofing and water	-resistance requirements for building elements in wet area	[2019: Table
		See discu	ssion under F4D6 for further information.	
Specificat	ion 27 - Acc	essible adult change fa	acilities [2019: Spec F2.9]	
The build	ings are not		d with an accessible adult change facility and therefore is no ssessed against this specification.	t required to be
Specificat	ion 28 - Sou		ing elements [2019: Spec F5.2]	
		332 01542	ission under F5.5 for further information.	
Specificat	ion 29 - Imp		uivalence [2019: Spec F5.5]	
		See discu	ission under F5.5 for further information.	

Clause	[2019]	Description	Comments	Assessment
Part G1	- Minor s	tructures and com	ponents	
G1D1	G1.0	DtS Provisions	Information only.	Noted
G1D2	G1.1	Swimming pools	The development does not contain a swimming pool and therefore this clause does not apply.	N/A
G1D3	G1.2	Refrigerated chambers, strong- rooms and vaults	The development does not contain any refrigerated chambers, strong-rooms or and therefore this clause does not apply.	N/A
G1D4	G1.3	Outdoor play spaces	The development does not contain a Class 9b early childhood centre and therefore this clause does not apply.	N/A
NSW G1D5	NSW G1.101	Provision for cleaning windows	A building must be provided with a safe manner of cleaning any windows located 3 or more storeys above the ground level via either windows that can be cleaned wholly from within the building or provision for the cleaning of the windows by a method complying with the WH&S Act 2001 and regulations made under that Act.	N/A
Part G2 -	- Boilers, p	ressure vessels, heat	ing appliances, fireplaces, chimneys and flues	-
The build	dings do no	and the second	, pressure vessels, heating appliances, fireplaces, chimney or flue	s and therefore
Dave C2	Andress	an asses	sment against this part has not been undertaken.	
1.415.000			1) 1 2 1 2 1 PT	and and included
provi	ded with a	sprinkler system and	m that connects more than 2 storeys, or more than 3 storeys (if e one of those storeys is located at a level with direct egress to a r ainst this part has not been undertaken and the remaining clause removed from this report.	oad or open
Part G4 -	Construct	tion in alpine areas		
The b	uildings are	e not within an alpine	area and therefore an assessment against this part has not been	undertaken.
Part G5 -	Construct	tion in bushfire pron	e areas	
The	e buildings	are not within a bush	fire prone area and therefore an assessment against this part has undertaken.	s not been
Part G6 -	- Occupiab	le outdoor areas		
The bu	uildings do	not have any occupia	ble outdoor areas and therefore an assessment against this part	has not been



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### Ref:230396-BCA-r1 BIC

62 Osman Street, Blayney

Clause	[2019]	Description	Comments	Assessment
Part G7 -	- Livable ho	using design	the second s	
	Part	G7 does not apply in NSW a	nd therefore this part has been removed from	n this report.
Specifica	tion 30 - In	stallation of boilers and pr	essure vessels [2019: Spec G2.2]	

An assessment against this specification is not included in a DA stage report due to the level of documentation provided. Pending further engagement, where applicable, this will be assessed upon receipt of Construction Documentation.

### SECTION I- SPECIAL USE BUILDINGS

The proposed development does not incorporate any uses subject to the provisions of Section I and therefore this section has been removed from the report.

## SECTION J - ENERGY EFFICIENCY

A JV3 assessment has been conducted by Credwell Energy. Please see report number 230396C-J1V3-r2 dated 17 October 2023 for the Section J requirements.

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Ref:230396-BCA-r1 BIC

# Annexure A - Reviewed Documentation

This report has been based on the documentation listed below:

	and the second second second	apport of a Building Information Certificate prepared by 220022 prepare on 20.05,2023
Drawing Number	Revision	Title
A001	G	TITLE, SITE LOCALITY AND SCHEDULE OF DRAWINGS
A002	G	GENERAL NOTES & WALL TYPE LEGEND
A003	G	PRE-DEVELOPMENT SITE PLAN
A004	G	EXISTING SITE PLAN
A005	G	EXISTING BUILDING - LOWER GROUND FLOOR PLAN
A006	G	INTERNAL ELEVATIONS SHEET 1 OF 3
A007	G	INTERNAL ELEVATIONS SHEET 2 OF 2
A008	G	INTERNAL ELEVATIONS SHEET 3 OF 3
A009	G	JOINERY DETAILS
A010	G	DOOR & WINDOW SCHEDULE
A011	G	ELECTRICAL AND MECHANICAL DRAWING



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#### Ref:230396-BCA-r1 BIC

# 62 Osman Street, Blayney

# Annexure B - Fire Safety Measures

Given the assessment in this report, the following fire safety measures are required to be installed in the building. This list is subject to during the Construction Certificate (CC) and/or construction stages.

	Fire Safety Measure	Standard of Performance	Existing Vs Proposed
1.	Automatic fire detection and alarm sγstems	BCA 2022 Part E2 Clause E2D8, E2D9 and Specification 20 AS3786-2014 Fire Engineering Report prepared by Credwell Performance numbered SYD000681-FER01 dated 17 October 2023	Existing
2.	Emergency lighting	BCA 2022 Clauses E4D2 and E4D4 AS/NZS 2293.1-2018 (amendment 1)	Existing
3.	Exit signs	BCA 2022 Clauses E4D5, NSW E4D6 and E4D8 AS/NZS 2293.1-2018 (amendment 1)	Existing
4.	Fire hose reel systems	BCA 2022 Clause E1D3 AS 2441-2005 (amendment 1)	Existing
5.	Fire hydrant systems	BCA 2022 Clause E1D2 AS 2419.1-2021	Proposed (to be resolved at CC stage)
6.	Lightweight construction (fire rated)	BCA 2022 Clause C2D9 and Specification 6 Manufacturer's Specification	Existing
7.	Portable fire extinguishers	BCA 2022 Clause E1D14 AS 2444-2001	Proposed
8.	a) Performance Solutions	Fire Engineering Report prepared by Credwell Performance numbered SYD000681-FER01 dated 17 October 2023	Proposed

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Ref:230396-BCA-r1 BIC

# 62 Osman Street, Blayney

# Annexure C - Fire Resistance Levels

The following fire resistance levels (FRLs) are required for the various elements of the building. Where the table below refers to a fire source feature (FSF), this is as defined in the BCA as the far boundary of a road, river, lake or the like adjoining the allotment, or a side or rear boundary of the allotment, or an external wall of another building on the allotment which is not a Class 10 building.

Building Element – Type C Construction	Class 2, 3 or 4	Class 5, 7a or 9	Diass 6	Class 7b or B
External Walls - Less than 1.5m from a FSF - 1.5 - 3m from a FSF - 3m or more from a FSF	90/90/90 -/-/- -/-/-	90/90/90 60/60/60 -/-/-	90/90/90 60/60/60 -/-/-	90/90/90 60/60/60 -/-/-
External Columns (not incorporated into an external wall) - Less than 1.5m from a FSF - 1.5 - 3m from a FSF - 3m or more from a FSF	90/-/- -/-/- -/-/-	90/-/- 60/-/- -/-/-	90/-/- 60/-/- -/-/-	90/-/- 60/-/- -/-/-
Common Walls and Fire Walls	90/90/90	90/90/90	90/90/90	90/90/90
Internal Walls - Fire resisting stair shafts –	60/60/60	60/60/60	60/60/60	60/60/60
Internal Walls – Bounding public corridors, public lobbies and the like	60/60/60	-/-/-	-/-/-	-/-/-
Internal Walls – Between or bounding sole- occupancy units	60/60/60	-/-/-	-/-/-	-1-1-



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Form 1

DCI - DESIGN CONSTRUCT INDUSTRIES PTY LTD STRUCTURAL & CONSTRUCTION CONSULTANTS ABN: 50 117 543 129 99 Tralee Street, HUME ACT 2620 TEL: 02 6260 1500/ 0411 725 886 Email: andystodulka48@gmail.com Web: www.designconstructindustries.com.au



Attention Justin Kearney EMAIL: justin.kearney@spacedgroup.com Date: 21/12/2022

# DESIGN CHECK/ INSPECTION- CERTIFICATE OF STRUCTURAL SUFFICIENCY

Suburb/Shire	Block/Lot	Approved Plan No.	Permit Number	
Blayney	All and the second			
Lessee's or Permit	Holder's			
Rovest Holdings				
Description of Bui	ding Work:			
New Work				
and the second se				

I certify that:

- I have designed and inspected the above building work related to the following components and their supporting elements and/or checked the relevant structural computations to the best of my knowledge that building work is structurally sufficient, sound and stable for the purposes for which it is to be occupied and used. Units are structurally suitable for transport. Recommendation to replace roof sheeting with ProDek or equivalent to certify snow load.
- 2. This certificate applies to the following inspected units;
  - Prototype unit consisting of 3 modules (no serial numbers) known as "Lot 8"
     6m x 3m Laundry units serial numbers 0604875-01 and 0604875-02
- 3. NOTE: IF NEITHER (a) nor (b) ARE DELETED THEN IT IS UNDERSTOOD THAT 3(a) APPLIES
  - a. In inspecting the building work, I have paid attention to the structural integrity of the building. The strength requirements and serviceability requirement of the building and its structural sufficiency elements comply with the Building Code of Australia OR relevant SAA Codes.

□ b. Although the building work does not comply with the Building Code of Australia and the relevant SAA Codes, it is structurally sufficient, sound and safe for the purposes for which it is to be used, as supported by the attached, relevant computations and test results.

#### On Site Representative:

#### Declaration

4. I am practicing structural engineering with qualifications in structural engineering which are acceptable to the Institution of Engineers, Australia, for the Grade of Corporate Member and actively engaged in structural design and supervision of building construction.

Date: 21/12/2022 Andy Stodulka (Director) - Design Construction Industries Pty Ltd B. Eng Hons (Soil Mechanics) (Sydney Uni) M Eng Sc (Sydney Uni) MIE Aust CPEng (No. 3017)NPER RPEQ (No. 7035) 20445 ES N.T. PE 0002240 VIC

#### COMPANY & PRODUCT AWARDS

• HIA INNOVATION 95 • HIA-COMMONWEALTH SCIENCEAWARD 95 • I.E. AUSTEXCELLENCE95 • M BAENERGY 96 • TELSTRA 97 • YELLOW PAGES 97 • BUILDING SCIENCEFORUM 97 • A.I.B.-BORALR& D 98 • I.E. AUST. DESIGN 98 • AUSTRALIAN STANDARDS ENGINEERING 99 • FOR APPROVAL

# 62 OSMAN STREET BLAYNEY NSW ROVEST HOLDINGS PTY LTD PROPOSED BLAYNEY MOTEL DEVELOPMENT DEVELOPMENT APPLICATION DRAWINGS

#### SCHEDULE OF DRAWINGS

NO:

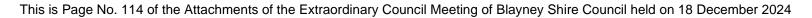
DRAWING	TITLE	REVISION	DATE
A001	TITLE STELOCALITY AND SCHERALE OF DRAWINGS	E	15.07,2524
A052	PRE-DEVELOPMENT SITE PLAN	- E	15.07.2024
A003	SITE ANALYSIS PLAN	1	15.07.2624
4004	EXISTING SITE PLAN	E	15.07.2624
A015	PROPOSED SITE PLAN	-E	15.07.2824
8006	VEHICLE TURNING PATHS PLAN	E	15.07 2024
A007	PLANS AND ELEVATIONS OF EXISTING BLOCKS 1-23	E	15.07 2024
A016	PLANS AN ELEVATIONS OF PROPOSED BLOCK 24	E	15.07.2824
A019	PLANS AND ELEVATIONS OF PROPOSED BLOCK 25	τ.	15.07 2024
A010	PART SITE PLAN OF PROPOSED NEW ACCOMMODATION BLOCKS	E.	15.07 2524
A011	EXISTING BUILDING LOWER GROUND FLOOR PLAN	-T	15.07.2024
A012	EXISTING BUILDING UPPER GROUND FLOOR PLAN	Æ	15.07 2024
A013	EXISTING BUILDING ELEVATIONS	E	15.07 2023

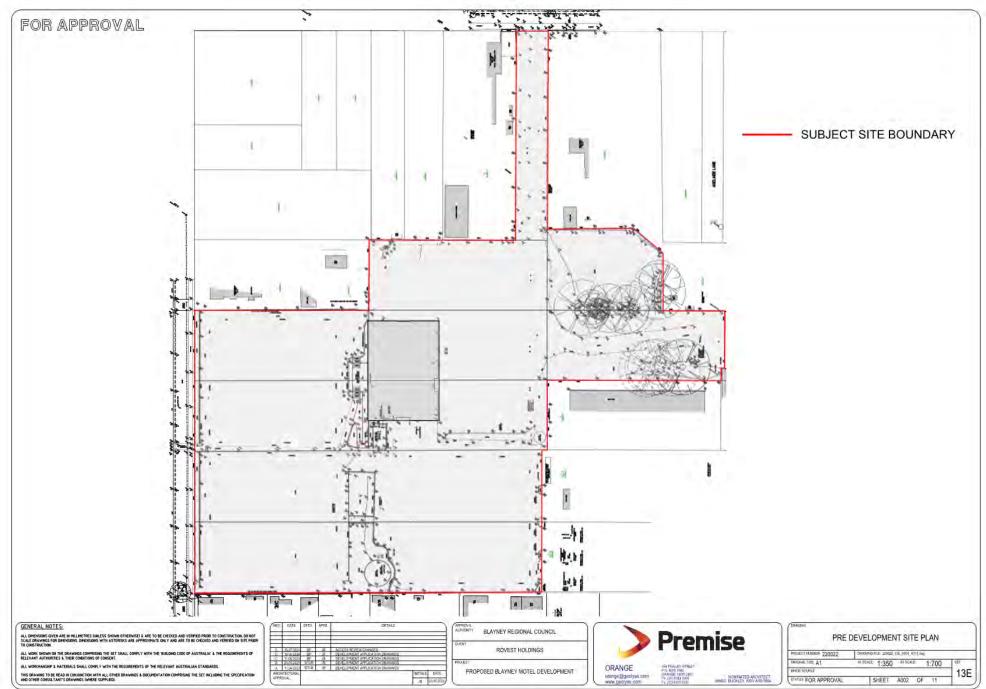
ATTACHMENT: SURVEY PLAN OF EXISTING BUILDINGS ON SITE

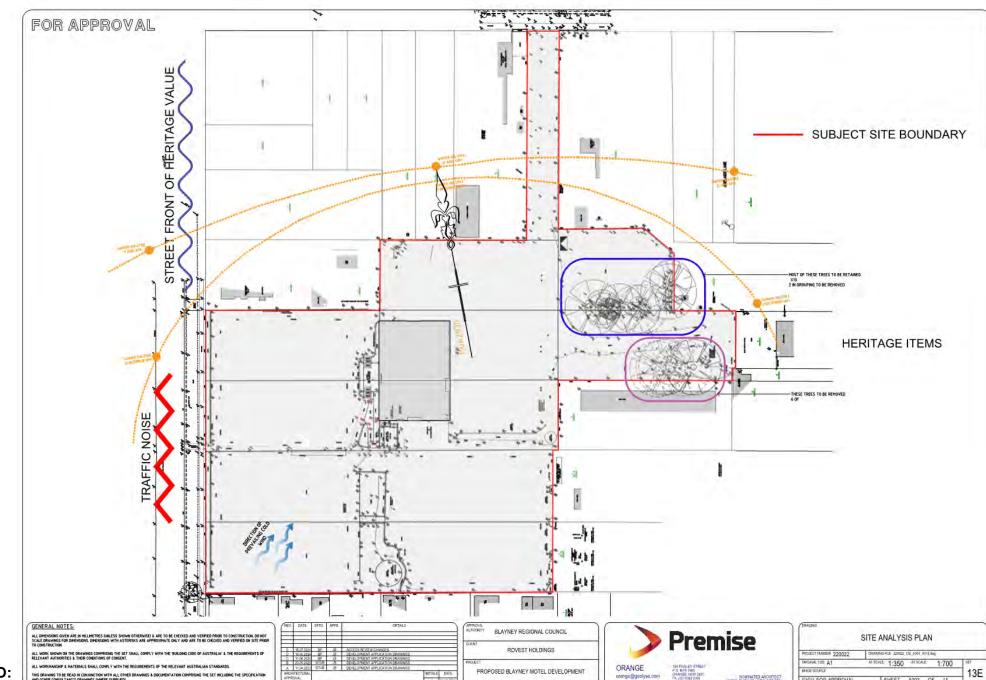


SITE LOCALITY

GENERAL NOTES	REV	DATE	DFTD.	APPE	DE7WL9		MUTHORITY	BLAYNEY REGIONAL COUNCIL		22000		DRAINING		Concerning and	
ALL DIVERSIONS GIVEN ARE IN HILLIHETRES INNERSS SHOWN OTHERWISE! & ARE TO BE CHECKED AND VERFED PRICE TO CONSTRUCTION DO NOT SCALE BRAVINGS FOR OMINSIONS DIVERSIONS WITH ASTERISKS AND APPROXIMATE ONLY AND ARE TO BE CHECKED AND VERFED ON SITE PROF TO CONSTRUCTION.							Q.BIT			Prer	nise	TITL	E SHEET & S	SITE LOCALITY	
ALL WORK SHOWN ON THE DRAWINGS COMPRISING THE SET SHALL COMPLY WITH THE 'BUILDING CODE OF AUSTRALLA' # THE REQUIREMENTS OF RELEVANT AUTHORITIES & THUR CONDITIONS OF CONSIST.		15.27 2024 19.56 2024 11.56 2024		B	ACCESS REVIEW DRANGES DEVELOPMENT APPLICATION DRANNINGS DEVELOPMENT APPLICATION DRANNINGS			ROVEST HOLDINGS				PROJECT NUMBER 220022	DRAWINGFLE 2201	azz 🕫 Aani Antalaya	
ALL WORKMANSHIP & MATERIALS SHALL COMPLY WITH THE REQUIREMENTS OF THE RELEVANT AUSTRALIAN STANDARDS.	1	2816-002	G1/JB G7/JB	8	DEVELOPMENT APPLICATION DRAWINGS DEVELOPMENT APPLICATION DRAWINGS		PROJECT	and and a subject to be a set of a local as	ORANGE	154 PEISLEY STREET		ORIGINAL SIZE A1	AISCALE	ANSCALE	80
THIS DRAWING TO BE READ IN CONJUNCTION WITH ALL OTHER DRAWINGS & DOCUMENTATION COMPRISING THE SET INCLUDING THE SPECIFICATION AND OTHER CONSULTANT'S DRAWINGS (WHERE SUPPLIED).	AREA	ITECTURAL OVAL				(MITUALS DATE (R) 23.05.3123/	PRO	POSED BLAYNEY MOTEL DEVELOPMENT	urange@geolyse.com www.geolyse.com	P.0 60X (H) 040406L, NSW 2800 Ph. (22) 6393 5000 Ph. (22) 6393 5000	NDWINATED ARCHITECT	STATUS FOR APPROVAL	I SHEET	A001 OF 11	13E







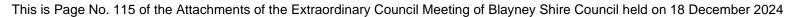
NITIALS DATE

orange@geolyse.com www.geolyse.com

NOMINATED ARCHITECT

STATUS FOR APPROVAL

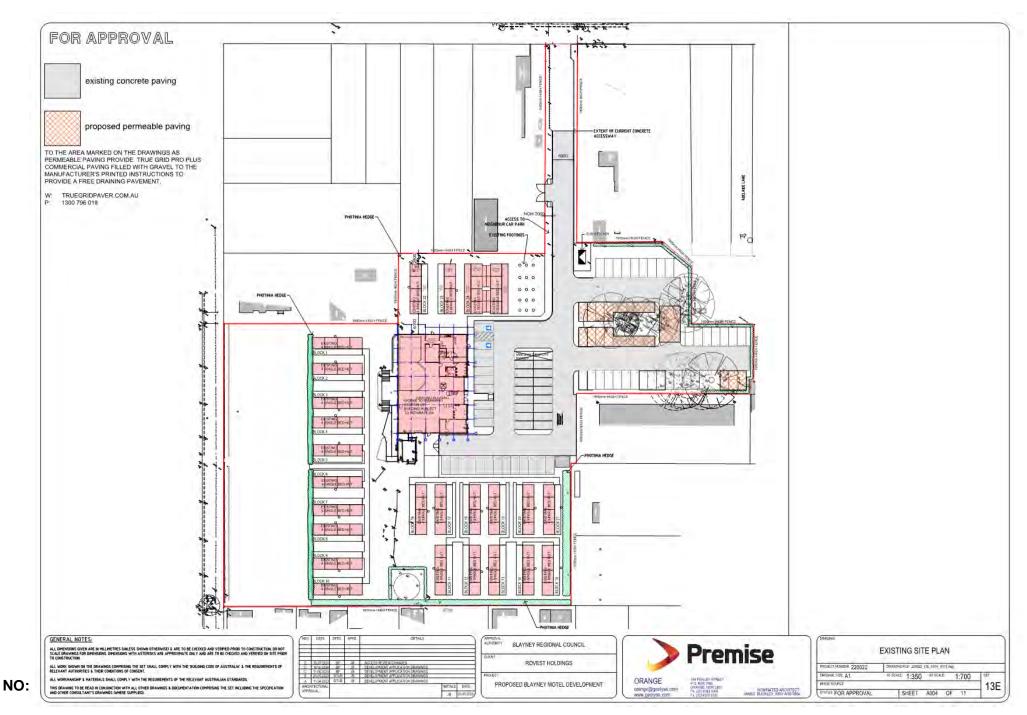
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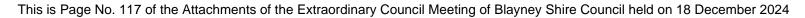


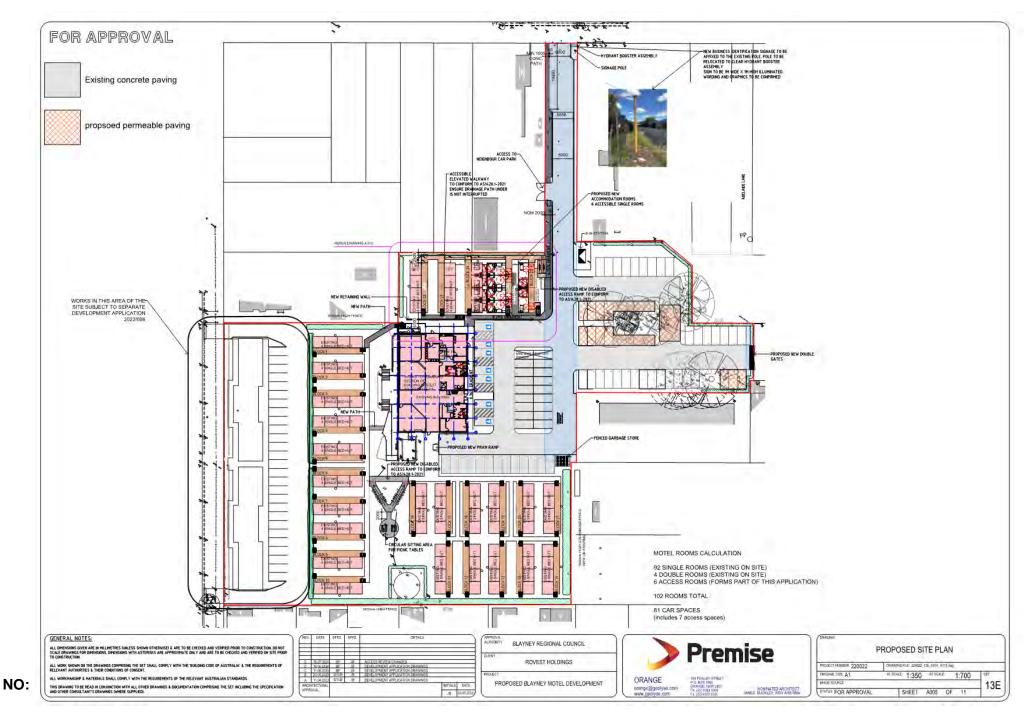
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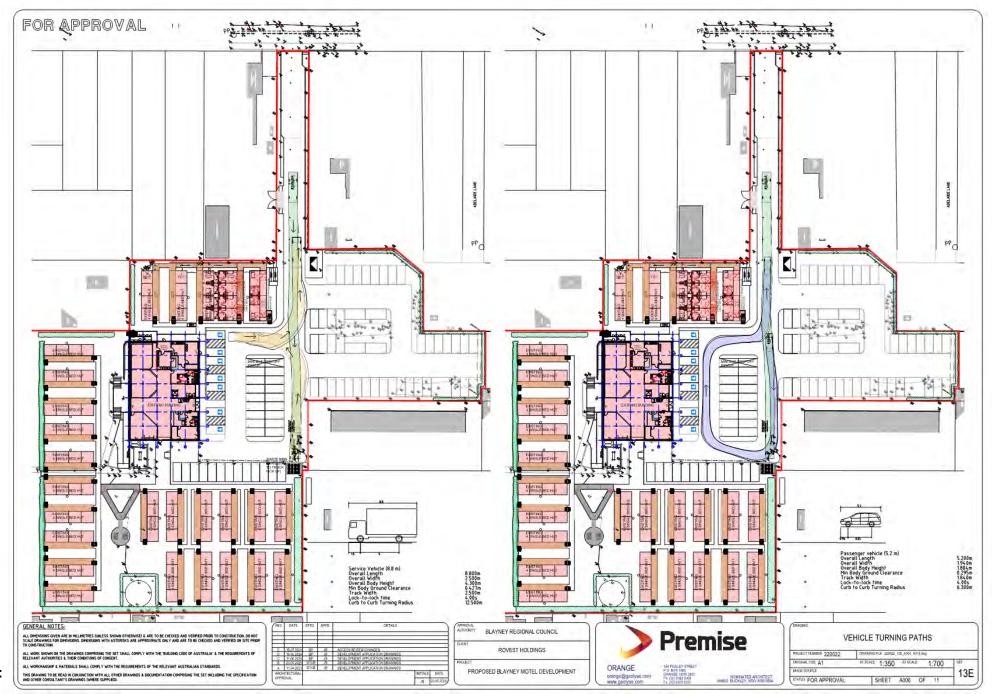
# This is Page No. 116 of the Attachments of the Extraordinary Council Meeting of Blayney Shire Council held on 18 December 2024

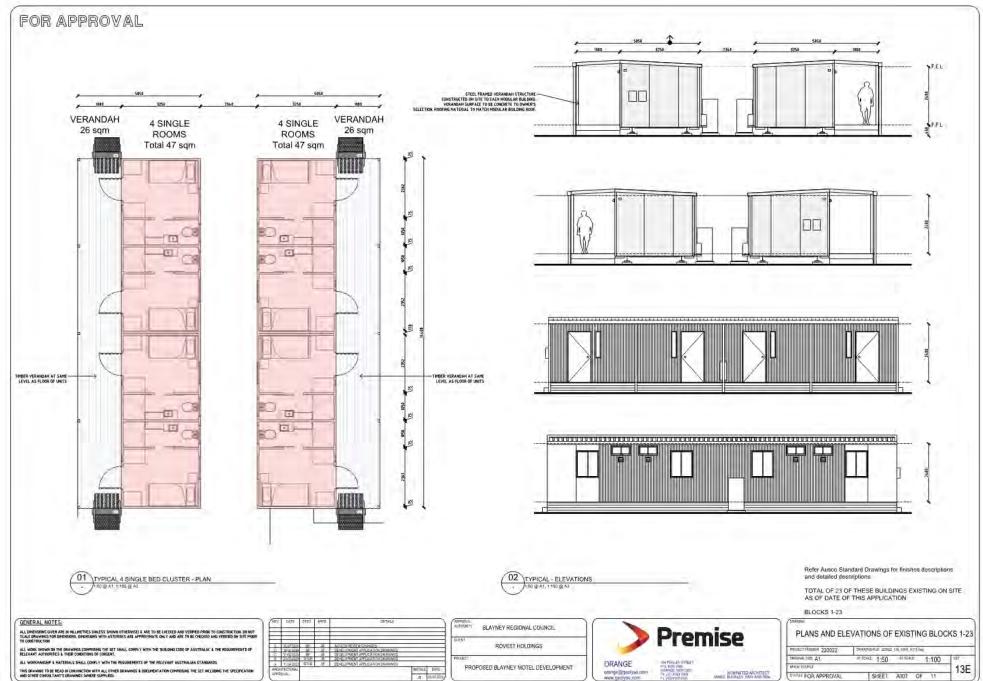




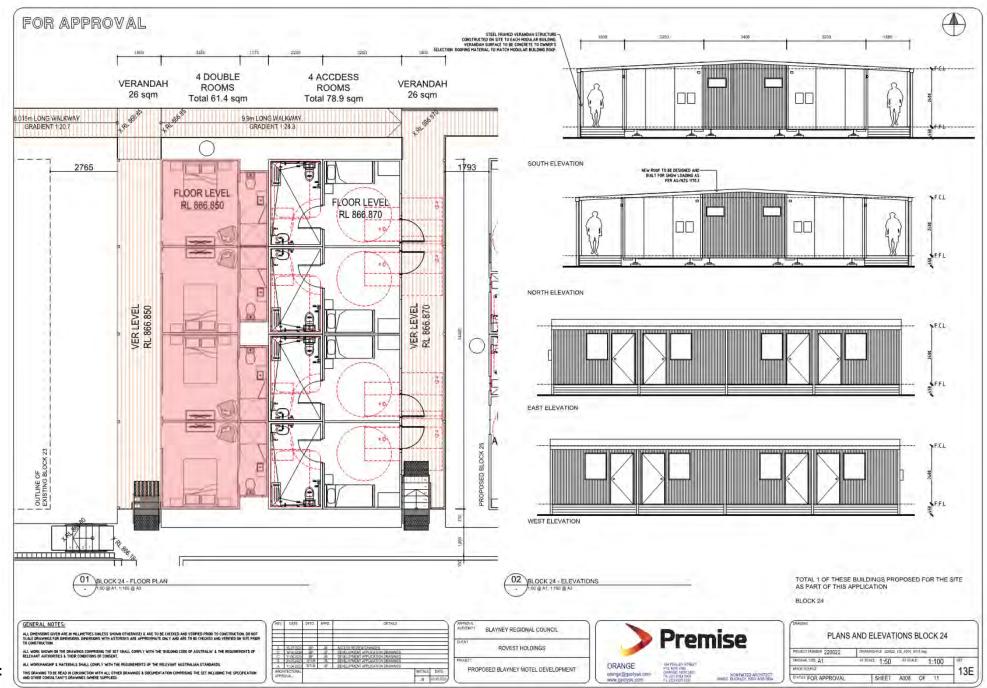


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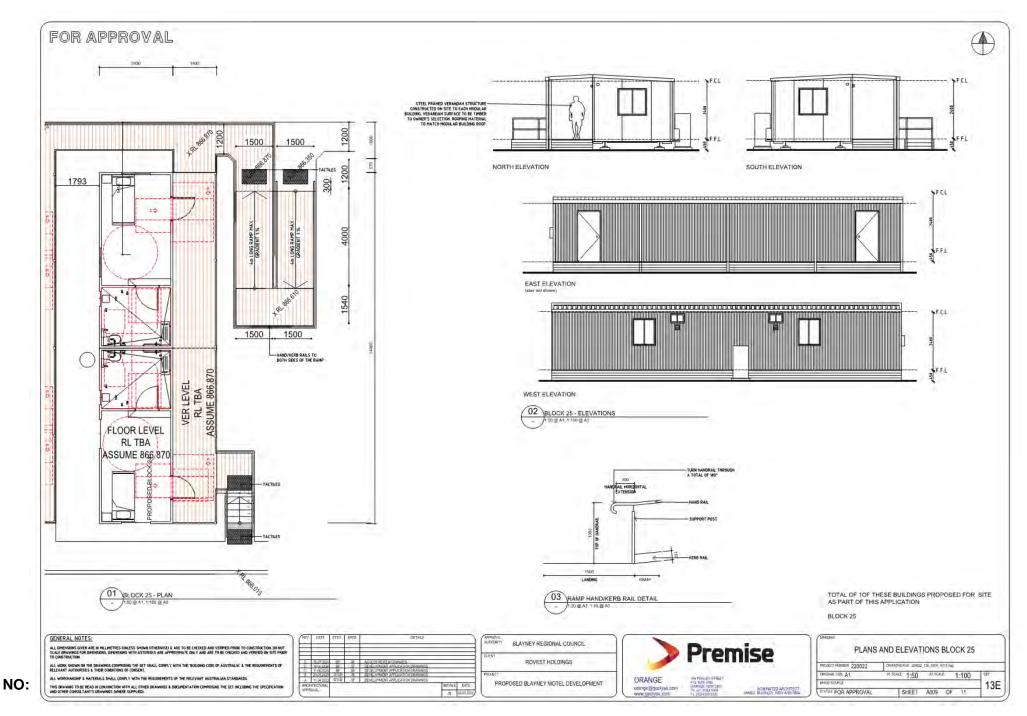




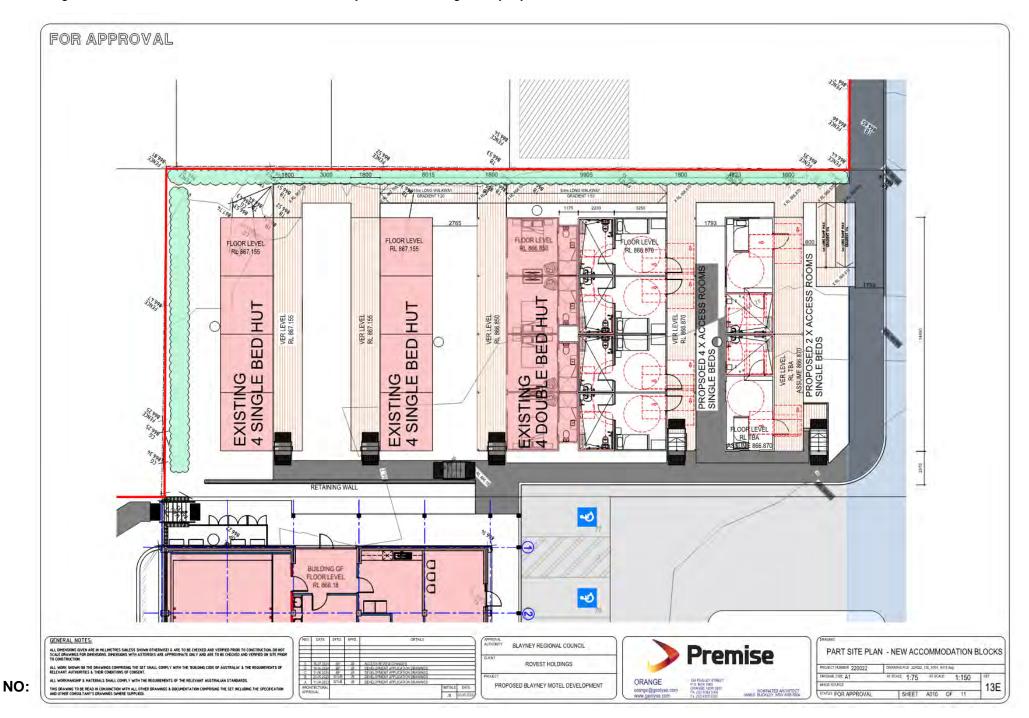
# This is Page No. 119 of the Attachments of the Extraordinary Council Meeting of Blayney Shire Council held on 18 December 2024



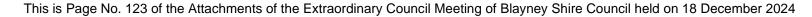
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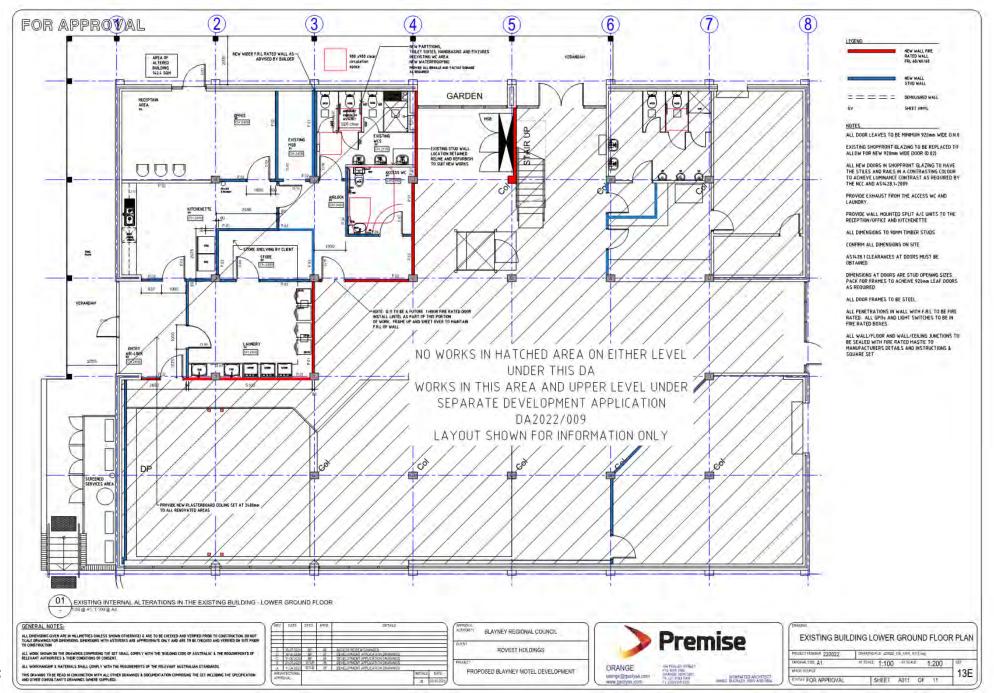


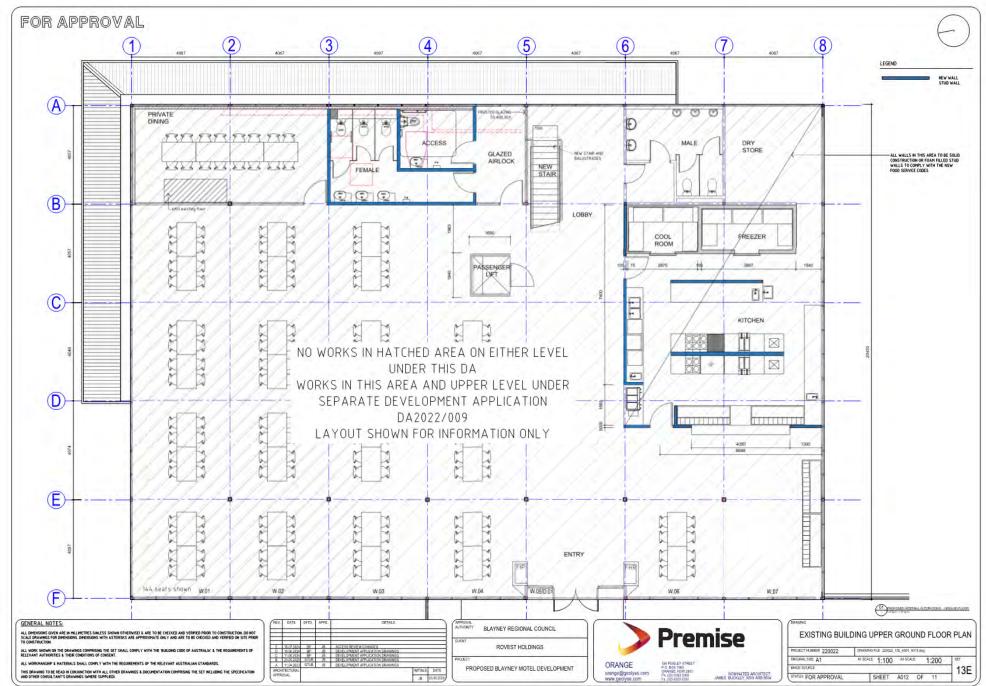
# This is Page No. 121 of the Attachments of the Extraordinary Council Meeting of Blayney Shire Council held on 18 December 2024



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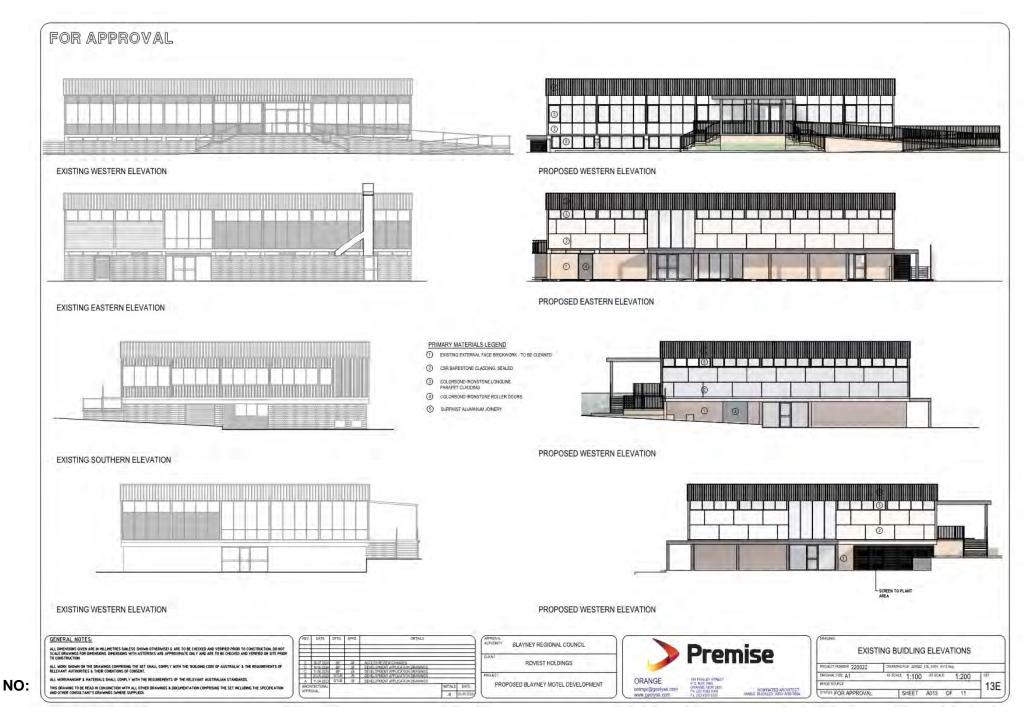






# This is Page No. 124 of the Attachments of the Extraordinary Council Meeting of Blayney Shire Council held on 18 December 2024

# This is Page No. 125 of the Attachments of the Extraordinary Council Meeting of Blayney Shire Council held on 18 December 2024



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BLAYNEY MOTEL DEVELOPMENT 62 OSMAN STREET, BLAYNEY MECHANICAL PLANT NOISE IMPACT ASSESSMENT DEVELOPMENT APPLICATION (DA) NOISE ASSESSMENT

> Report No BA210805 Version A

September 2021

Prepared for

Premise Pty Ltd 154 Peisley Street Orange, NSW 2800



Blackett Acoustics is an AAAC Member Firm Since 2014

This is Page No. 128 of the Attachments of the Extraordinary Council Meeting of Blayney Shire Council held on 18 December 2024

# TABLE OF CONTENTS

1	INTRODUCTION
2	SITE DESCRIPTION
3	EXISTING ACOUSTIC ENVIRONMENT
4	NOISE REQUIREMENTS
4.1	Project Intrusiveness Noise Levels
4.2	Project Amenity Noise Levels
4.3	Project Noise Trigger Levels
5	PREDICTED LAEQ NOISE EMISSION LEVELS
6	CONCLUSION

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# GLOSSARY

Most environments are affected by environmental noise which continuously varies, largely as a result of road traffic. To describe the overall noise environment, a number of noise descriptors have been developed and these involve statistical and other analysis of the varying noise over sampling periods, typically taken as 15 minutes. These descriptors, which are demonstrated in the graph below, are defined below.

Maximum Noise Level (L<sub>Amax</sub>) – The maximum noise level over a sample period is the maximum level, measured on fast response, during the sample period.

 $L_{A1}$  – The  $L_{A1}$  level is the noise level which is exceeded for 1% of the sample period. During the sample period, the noise level is below the  $L_{A1}$  level for 99% of the time.

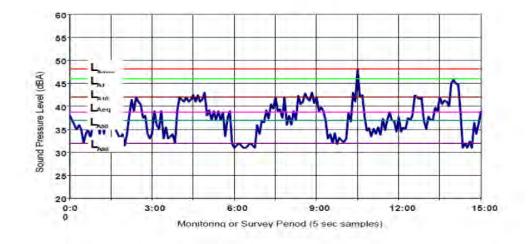
 $L_{A10}$  – The  $L_{A10}$  level is the noise level which is exceeded for 10% of the sample period. During the sample period, the noise level is below the  $L_{A10}$  level for 90% of the time. The  $L_{A10}$  is a common noise descriptor for environmental noise and road traffic noise.

 $L_{Aeq}$  – The equivalent continuous sound level ( $L_{Aeq}$ ) is the energy average of the varying noise over the sample period and is equivalent to the level of a constant noise which contains the same energy as the varying noise environment. This measure is also a common measure of environmental noise and road traffic noise.

 $L_{A90}$  – The  $L_{A90}$  level is the noise level which is exceeded for 90% of the sample period. During the sample period, the noise level is below the  $L_{A90}$  level for 10% of the time. This measure is commonly referred to as the background noise level.

ABL – The Assessment Background Level is the single figure background level representing each assessment period (daytime, evening and night time) for each day. It is determined by calculating the 10<sup>th</sup> percentile (lowest 10<sup>th</sup> percent) background level (L<sub>A90</sub>) for each period.

RBL – The Rating Background Level for each period is the median value of the ABL values for the period over all of the days measured. There is therefore an RBL value for each period – daytime, evening and night time.



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# 1 Introduction

This report assesses if the potential noise impact associated with the installation of an air-conditioning units at the proposed Blayney Motel development would satisfy the acoustic requirements outlined in the NSW Noise Guide for Local Government (NGLG).

# 2 Site Description

The proposed development is located at 62 Osman Street, Blayney. The immediately surrounding buildings consist of commercial and residential receivers. The identified noise sensitive receiver locations relative to the Project Site are presented in Figure 2-1.

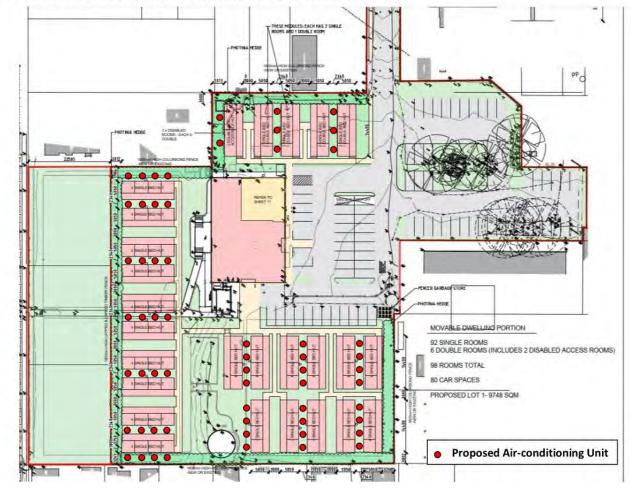




Figure 2-2 and Figure 2-3 present the site plans indicating the proposed locations of the air-conditioning units at different stages of the development.

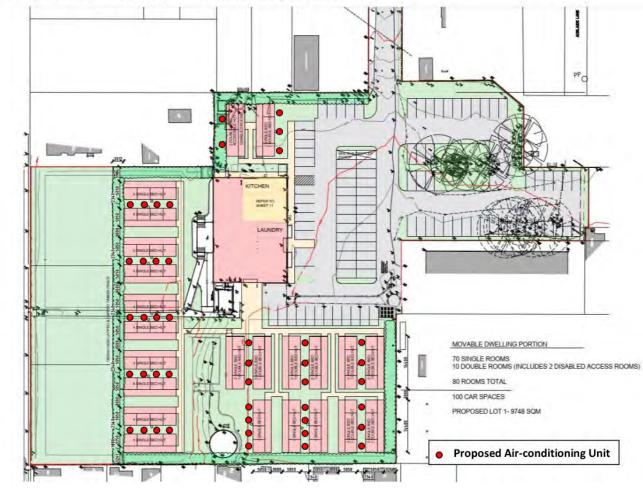
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# Figure 2-2 Site Plan of Stage 1 and Proposed Mechanical Plant Locations

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# Figure 2-3 Site Plan of Stage 2 and Proposed Mechanical Plant Locations

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# 3 Existing Acoustic Environment

The current version of Australian Standard 1055 part 2 (AS1055-2) entitled "Acoustics – Description and measurement of environmental noise Part 2: Application to specific situations" which consist of a table of typical values dependent on land use and time of day.

Appendix B of AS1055-2 contains the table 'Estimated Average Background Aweighted Sound Pressure Levels (L<sub>Abackground,time</sub>) for Different Areas Containing Residences' that can be used to indicate the existing acoustic environment.

The table refers to 'Noise Area Categories' designated R1 to R6, which describe the neighbourhood in terms of transportation and industrial noise influences. The categories should be selected irrespective of metropolitan or country zoning. Table 3-1 presents a summary of the table in AS1055-2.

		Average background A-weight sound pressure level, L <sub>A90,Time</sub>							
Noise area category	Description of neighbourhood	Mone	day to Sat	urday	Sundays and public holidays				
category		0700- 1800hr	1800- 2200hr	2200- 0700hr	0700- 1800hr	1800- 2200hr	2200- 0700hr		
R1	Areas with negligible transportation	40	35	30	40	35	30		
R2	Areas with low density transportation	45	40	35	45	40	35		
R3	Areas with medium density transportation or some commerce or industry	<u>50</u>	45	40	50	45	40		
R4	Areas with dense transportation or with some commerce or industry	55	50	45	55	50	45		

Table 3-1 Background Noise Levels as per AS1055-2 – dBA

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		Average background A-weight sound pressure level, L <sub>A90,Time</sub>								
Noise area category	Description of neighbourhood	Mone	day to Sat	urday	Sundays and public holidays					
cutegory		0700- 1800hr	1800- 2200hr	2200- 0700hr	0700- 1800hr	1800- 2200hr	2200- 0700hr			
R5	Areas with very dense transportation or in commercial districts or bordering industrial districts	60	55	50	60	55	50			
R6	Areas with extremely dense transportation or within predominantly industrial districts	65	60	55	65	60	55			

# Table 3-1 con't Background Noise Levels as per AS1055-2 – dBA

For the nearest affected identified receiver locations to the proposed Blayney Motel development the appropriate description is R1. Category R1 refers to an area which is '<u>an area with negligible transportation'</u>.

The NSW Noise Policy for Industry (NPfI) has recommendation on the minimum assumed background noise levels as shown below:

- Daytime : 35dBA
- Evening : 30dBA
- Night Time : 30dBA

For a conservative noise assessment, the NPfI minimum assumed background noise levels will be used to establish the operational noise criterion.

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# 4 Noise Requirements

The NSW Industrial Noise Policy (2000) has now been withdrawn and is replaced by the Noise Policy for Industry (NPfI) in October 2017.

The NPfI provides a process for in determining the "project noise trigger levels" which provides a benchmark or objective for assessing a proposal or site. It is not intended for use as a mandatory requirement. The project noise trigger level is a level that, if exceeded, would indicate a potential noise impact on the community, and so 'trigger' a management response; for example, further investigation of mitigation measures.

The project noise trigger level, feasible and reasonable mitigation, and consideration of residual noise impacts are used together to assess noise impact and manage the noise from a proposal or site.

The project noise trigger levels are the more stringent of the "project intrusiveness noise levels" and the "project amenity noise levels". The project noise trigger levels are assessed at a height of 1.5 metres above ground, at the most affected point within the receiver boundary within 30 metres of a dwelling.

# 4.1 **Project Intrusiveness Noise Levels**

The intrusiveness of a noise source may generally be considered acceptable if the level of noise from the source (represented by the  $L_{Aeq}$  descriptor), measured over a 15-minute period, does not exceed the RBL by more than 5dBA when beyond a minimum threshold. This intrusiveness noise level seeks to limit the degree of change a new noise source introduces to an existing environment.

Based on the established background noise levels in Section 3, Table 4-1 presents the project intrusiveness noise levels.

# Table 4-1Project Intrusiveness Noise Level – dBA

Established L <sub>Aeq,15min</sub> Intrusiveness Noise Levels			
Daytime Evening Night Time			
40	35	35	

Note: Daytime (6.00am-6.00pm), Evening (6.00pm-10.00pm) and Night time (10.00pm-6.00am).

The noise criteria in presented Table 4-1 is only applicable to residential receiver locations.

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#### 4.2 Project Amenity Noise Levels

To limit continuing increases in noise levels from application of the intrusiveness level alone, the ambient noise level within an area from <u>all industrial noise sources</u> combined should remain below the recommended amenity noise levels specified in NPfl where feasible and reasonable.

The NPfI recommend amenity noise levels for various receiver types and times of day to protect against noise impacts such as speech interference, community annoyance and some sleep disturbance. The recommended amenity noise levels represent the objective for total industrial noise at a receiver location, whereas the project amenity noise level represents the objective for noise from a single industrial development at a receiver location. Table 4-2 presents the NPfI amenity noise levels.

Receiver	Noise Amenity Area	Time of Day	Recommended Amenity Noise Level L <sub>Aeq,period</sub> (dBA)
		Day	50
	Rural	Evening	45
		Night	40
		Day	55
Residential	Suburban	Evening	45
		Night	40
		Day	60
	Urban	Evening	50
		Night	45
Hotels, motels, caretakers' quarters, holiday accommodation, permanent resident caravan parks	See column 4	See column 4	5dBA above the recommended amenity noise level for a residence for the relevant noise amenity area and time of day
School classroom – internal	All	Noisiest 1- hour period when in use	35
Hospital ward - Internal Hospital ward - External	All All	Noisiest 1- hour period when in use	35 50
Place of worship – internal	All	When in use	40
Areas specifically reserved for passive recreation (e.g. national park)	All	When in use	50
Active recreation area (e.g. school playground)	All	When in use	55

Table 4-2 NPfl Amenity Noise Levels

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Receiver	Noise Amenity Area	Time of Day	Recommended Amenity Noise Level L <sub>Aeq,period</sub> (dBA)
Commercial premises	All	When in use	65
Industrial premises	All	When in use	70
Industrial interface (applicable only to residential noise amenity areas)	All	All	Add 5dBA to recommended noise amenity area

To ensure that industrial noise levels (existing plus new) remain within the recommended amenity noise levels for an area, a **project amenity noise level** applies for each new source of industrial noise as follows:

Project amenity noise level for industrial developments = recommended amenity noise levels (outlined in Table 4-2) minus 5dBA.

Due to the different averaging periods for the  $L_{Aeq,15min}$  and  $L_{Aeq,period}$  noise descriptors, the numerical values of project intrusiveness and amenity noise levels cannot be directly compared when assessing the amount of noise incident upon a receiver, or to identify which noise levels are more stringent.

To standardise the time periods for the intrusiveness and amenity noise levels, NPfI assumed that the  $L_{Aeq,15min}$  will be taken to be equal to the project amenity noise level of  $L_{Aeq,period}$  plus 3dB.

The surrounding receiver locations will be under the category of "suburban" residential receivers and the established project amenity noise levels for the surrounding residential receiver locations are presented in Table 4-3.

# Table 4-3 Project Amenity Noise Levels (Residential Receivers) – dBA

Established L <sub>Aeq,15min</sub> Amenity Noise Levels			
Daytime	Night Time		
53	43	38	

Note: Daytime (7.00am-6.00pm), Evening (6.00pm-10.00pm) and Night time (10.00pm-7.00am).

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# 4.3 Project Noise Trigger Levels

Based on intrusiveness and project amenity noise levels determined in Table 4-1 and Table 4-3 respectively, the project noise trigger level is the lower (that is, the most stringent) value of the intrusiveness and amenity noise levels. Therefore, the project trigger noise levels are presented in Table 4-4.

#### Table 4-4 Project Noise Trigger Levels (Residential Receivers) – dBA

Established L <sub>Aeq,15min</sub> Project Noise Trigger Levels			
Daytime Evening Night T			
40	35	35	

Note: Daytime (7.00am-6.00pm), Evening (6.00pm-10.00pm) and Night time (10.00pm-7.00am).

For the identified commercial receivers, the recommended assessment amenity noise level is  $\underline{L}_{Aeq,15min}$  of 65dBA when in use.

#### 5 Predicted LAeq Noise Emission Levels

Blackett Acoustics has been advised that the selected make and model of airconditioning units to be installed is **Daikin FTXS25KVMA** with a sound power level (SWL) of <u>62dBA per unit</u>.

Noise emission level associated with the proposed air-conditioning units to the surrounds have been predicted using CadnaA acoustic noise prediction software. Factors that have been taken into consideration in the noise modeling are:

- screening effects from adjacent buildings
- building envelope locations
- ground topography
- noise attenuation due to geometric spreading
- ground absorption

For noise modelling and assessment purposes, only the typical worst-case scenario during any 15 minutes period will be considered. In order to address the  $L_{Aeq}$  noise requirements established in Section 4, the following scenario and assumptions have been considered.

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# Scenario 1 – Assessment of Stage 1 Operational Noise

The assumptions are as below:

- 98 air-conditioning units in constant operation during the entire 15mins period. SWL L<sub>Aeq</sub> of 65dBA per air-conditioning unit is to be used for the purpose of this assessment.
- Shielding provided by the 1.8m high perimeter fence around the property have been taken into consideration. The perimeter fence can be of material such as Colorbond or timber.
- Predictions of L<sub>Aeq,15min</sub> noise levels to the ground floor and first floor (if applicable) of surrounding noise sensitive receiver locations.

#### Scenario 2 – Assessment of Stage 2 Operational Noise

The assumptions are as below:

- 98 air-conditioning units in constant operation during the entire 15mins period. SWL L<sub>Aeq</sub> of 65dBA per air-conditioning unit is to be used for the purpose of this assessment.
- Shielding provided by the 1.8m high perimeter fence around the property have been taken into consideration. The perimeter fence can be of material such as Colorbond or timber.
- Predictions of L<sub>Aeq,15min</sub> noise levels to the ground floor and first floor (if applicable) of surrounding noise sensitive receiver locations.

Figure 5-2 and Figure 5-3 present the 3D views showing the relative position of airconditioning units to the surrounds. Report No. BA210805 Version A

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- **R10** Noise emission point associated with air-conditioning units. R12 **R13** R20 R14 R21 **R19** R15
- Figure 5-2 Stage 1 3D View of Noise Source to the Surrounds

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Figure 5-3 Stage 2 – 3D View of Noise Source to the Surrounds

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Table 5-1 presents the predicted  $L_{Aeq,15min}$  noise levels associated with the operation of the air-conditioning units to surrounding receivers during Stage 1.

Identified Receivers	Project L <sub>Aeq,15min</sub> Project Noise Trigger Levels			Predicted L <sub>Aeq,15min</sub>
Identified Receivers	Daytime	Evening	Night Time	Noise Level
R1				16
R2				21
R3				23
R4				25
R5				16
R6				7
R7			35	8
R8		40 35		9
R9				11
R10	40			15
R11				14
R12				12
R13				15
R14				12
R15				14
R16				19
R17				28
R18				24
R19				22
R20				21
R21				19
R22				25
R23				19
R24				14

Note: Daytime (7.00am-6.00pm), Evening (6.00pm-10.00pm) and Night time (10.00pm-7.00am).

Based on the predicted L<sub>Aeq,15min</sub> noise levels presented in Table 5-1, compliance with the relevant time intrusiveness noise criteria is achieved at the nearest residential and commercial receivers on all occasions. The predicted noise levels are well within the most stringent project intrusiveness noise criteria.

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Table 5-2 presents the predicted  $L_{Aeq,15min}$  noise levels associated with the operation of the air-conditioning units to surrounding receivers during Stage 2.

Identified Receivers	Project L <sub>Aeq,15min</sub> Project Noise Trigger Levels			Predicted LAeq,15min
	Daytime	Evening	Night Time	Noise Level
R1	40	35	35	14
R2				19
R3				21
R4				22
R5				16
R6				7
R7				9
R8				11
R9				12
R10				16
R11				15
R12				13
R13				15
R14				12
R15				13
R16				18
R17				28
R18				23
R19				21
R20				19
R21				16
R22				18
R23				15
R24				12

 Table 5-2
 Stage 2 Predicted LAeq, 15min Noise Levels – dBA

Note: Daytime (7.00am-6.00pm), Evening (6.00pm-10.00pm) and Night time (10.00pm-7.00am).

Based on the predicted L<sub>Aeq,15min</sub> noise levels presented in Table 5-2, compliance with the relevant time intrusiveness noise criteria is achieved at the nearest residential and commercial receivers on all occasions. The predicted noise levels are well within the most stringent project intrusiveness noise criteria.

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#### 6 CONCLUSION

This report has presented an acoustic assessment of the noise emission associated with the proposed air-conditioning units at 62 Osman Street, Blayney.

Based on the findings in this assessment, it is established that the noise emission levels associated with the proposed air-conditioning units achieved compliance with relevant noise trigger levels on all occasions.

Noise from the operations of proposed mechanical plant is unlikely to result in 'offensive noise' as defined in the Protection of the Environment Operation Act 1997 (POEO Act) if all the recommended acoustic mitigations in this report are implemented.

Note

All materials specified by Blackett Acoustics have been selected solely on the basis of acoustic performance. Any other properties of these materials, such as fire rating, chemical properties etc. should be checked with the suppliers or other specialised bodies for fitness for a given purpose.

Version	Status	Issue Date	Prepared by
А	Final	6 September 2021	Jimi Ang

BLAYNEY SHIRE COUNCIL BLAYNEY MOTEL DETAILED CIVIL ENGINEERING DESIGN CONSTRUCTION CERTIFICATE





LOCALITY NOT TO SCALE

# Prepared for: ROVEST HOLDINGS PTY LTD



ENGINEERING | PLANNING | PROJECT MANAGEMENT | SURVEYING | CERTIFICATION

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ABN: 26 134 067 842 O 2020

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Sheet List Table

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#### GENERAL NOTES

- ALL WORKS SHALL BE CARRIED OUT IN ACCORDANCE WITH THE DEVELOPMENT CONSINT AND SLAVNEY SHRE COLINGLE SENSINEERING SPROP CATIONS AND OR AS DIRECTION THEIR REPRESENTATIVE AND AND TAKING DAY NECESSARY WORKS RECURRED TO MAKE THE CONSTRUCTION EFFECTIVE. ALL WORKS MACH DURLEY UTLITY HEALTATION SHALL BUCK IN COST TO COLINGLE
- THE CONTRACTOR IS TO IDENTIFY. LOCATE AND LEVEL ALL EXISTING SERVICES. PRICE TO THE COMMENCEMENT OF CONSTRUCTION WORKS AND WHERE NECESSARY MAKE ARRANGEMENTS WITH THE PRELEVANT AUTHORITY TO PELOCATE OR ADJUST WHERE NECESSARY.
- ALL WORKS SHALL BE UNDERTAKEN IN ACCORDANCE WITH THE WORK NEALTH & EAFETY ACT 3017 AND ALL RELEVANT OCCUPATIONAL HEALTH & SAFETY FOLLOES AND REGULATIONS.
- 4 DIMENSIONS SHALL NOT BE SCALED FROM THE PLANS. CLARIFICATION OF DIMENSIONS SHALL BE SOUGHT FROM THE SUPERINTENDENT OR REFERENCED TO THE DESIGNER.
- 5 SURVEY MARKS SHOWN THUS SHALL BE MAINTAINED AT ALL TIMES WHERE RETENTION IS NOT POSSIBLE THE ENGINEER BHALL BE NOTIFIED AND CONSENT RECEIVED PRIOR TO THEIR REMOVAL
- ALL NEW WORK IS TO MAKE A SMOOTH JUNCTION WITH EXISTING CONDITIONS,
   THE CONTRACTOR IS NOT TO EXIST UPON NOR DO ANY WORK WITHIN DR ON
- 7. THE CONTRACTOR IS NOT TO ENTER UPON NOR DO ANY WORK WITHIN OR ON ADJACENT LANDS WITHOUT THE PRIOR APPROVAL OF THE SUPERINTENDENT AND THE WRITTEN PERMISSION OF THE OWNERS
- IT THE CONTRACTOR SHALL MAINTAIN DUST CONTROL THROUGHOUT THE DURATION OF THE PROJECT.
- FELLED TREES SHALL BE SALVAGED FOR REUSE AS WOODCHIP MULCH OR LOG FORM FOR SITE REHABILT ATOM, NON-SALVAGEABLE ANAFERIAL SUDIA AS STUMPS AND ROUTS SHALL BE APPORTMATE! DISPOSED OF OFE SITE
- THE CONTRACTOR SHALL PROVIDE MINIMUM 24 HOURS NOTICE TO CERTIFIERS REPRESENTATIVE FOR ALL INSPECTIONS.
- 11 ALL NATURAL SUBFACE DATA HAS BEEN DETERMINED BY TERRAIN MODELLING. ALL CONSTRUCTION SITE WORKS MUST BE CARRIED OUT USING THE BENCH MARKS BERCINIC ON THESE DRAWINGS.
- 13. THE TREES THAT ARE TO BE RETAINED ARE TO BE PARTICIDED DURING ALL WORKS WITH, SIM-INGH CHAMMER FERMION WITHOUTS TO BE ELECTOR A LLAST THREE METRES FROM THE BASE OF EACH THEE AND IS TO BE. IN FLACE PHILD IT ON WORKS COMMENSING TO RESTORT THE TRELOWING COVERING STORAGE ON THE STATEMENT OF STATEMENT OF THE STATEMENT OF THE COMMENTS OF THE STATEMENT OF STATEMENT OF THE STATEMENT OF THE INFORMATION OF THE STATEMENT OF THE STATEMENT OF THE STATEMENT INFORMATION OF THE STATEMENT OF THE STATEMENT OF THE STATEMENT INFORMATION OF THE STATEMENT OF THE STATEMENT OF THE STATEMENT INFORMATION OF THE STATEMENT OF THE STATEMENT OF THE STATEMENT INFORMATION OF THE STATEMENT OF THE STATEMENT OF THE STATEMENT INFORMATION OF THE STATEMENT OF THE STATEMENT OF THE STATEMENT INFORMATION OF THE STATEMENT OF THE STATEMENT OF THE STATEMENT INFORMATION OF THE STATEMENT OF THE STATEMENT OF THE STATEMENT OF THE INFORMATION OF THE STATEMENT OF THE STATEMENT OF THE STATEMENT OF THE INFORMATION OF THE STATEMENT OF THE STATEMENT OF THE STATEMENT OF THE INFORMATION OF THE STATEMENT OF THE STATEMENT OF THE STATEMENT OF THE STATEMENT OF THE INFORMATION OF THE STATEMENT OF THE STATEMENT OF THE STATEMENT OF THE INFORMATION OF THE STATEMENT OF THE STATEMENT OF THE STATEMENT OF THE INFORMATION OF THE STATEMENT OF THE STATEMENT
- 14. A COPY OF THE DEVELOPMENT CONSENT AND STAMPED PLANS AND TRAFFIC CONTROL PLAN SHALL RE KEPT ON SITE AT ALL TIMES DUPING CONSTRUCTION.
- 15. JF, DURING THE COURSE OF ANY WORKS, MY EVIDENCE OF AN ABORIGINAL ARCHAROLOGICAL 31F OR REJIC IS FOUND ALL WORKS ON THE SITE ARE TO CEASE AND THE CERATING OF ENVIRONMENT AND LIMPENT ON ADDITIONAGE AND THE NSW HEIRITAGE BRANCH ARE TO BE NOTFIED IMMEDIATELY.
- IR IN DURING THE COURSE OF ANY WORKS, ANY EVIDENCE OF A EUROPEAN ARCIMED.LOGICAL STELS OK RELICES FOLKION, ALL WORKS ON THE STELARE TO CEASE, AND THE KISM HERTING BRIANCH CONTACTED IMMEDIATE VILLA ARE TO BE RETAINED AS STULIALESS OF HERWISE DIRECTED BY THE KISW HERTINGE BRIANLIN.
- 17 ANY NEW INFORMATION, WHICH COMES TO LIGHT DURING CONSTRUCTION WORKS, WHICH HAS THE POTENTIAL TO ALTER PREVIOUS CONCLUSIONS ABOUT SITE CONTAINNATION, SHALL BE MINEDIATELY NOTFIED TO COUNCIL
- 18. CONSTRUCTION INSPECTIONS ARE REQUIRED FOR THE ENGINEERING WORKS IN ACCORDANCE WITH THE RELEVANT LOCAL COUNCIL WORKS SPECIFICATION.
- 15 SEDMENT MEASURES SHALL BE IMPLEMENTED PRICK TO SOIL DISTURBANCE IN REEPRIG WTH THE IN EDITION OF CANDOMS SOLIS AND CONSTRUCTION - MANAGING URBAN STORMWATER MARCH 2004 TO THE SATISFACTION OF COURCE SREPRESENTATIVE AND AS BROWN IN THESE DRAWMOG.
- 20. THE CONTRACTOR SHALL CLEAR AND DISPOSE OF ONLY THOSE TREES THAT ARE CONDENNED BY THE FUNK CONNELL'S THEE PRESERVATION ORDER SHALL BE ODSERVED AND NO TREE SHALL BE FELLED. LOPPED OR REMOVED WITHOUT THIOR AMPROVAL OF COUNCI.
- THE CONTRACTOR SHALL CLEAR THE SITE BY REMOVING ALL RUBDISH. FENCES, OUT HOUSES, CAR BODIES, DEBRIS, ETC. THE CONTRACTOR SHALL NOT DISPOSE OF ANY DEBRIS BY RUNING OFF. IN AN OPEN FIRE.

#### ROADWORKS NOTES

- THE CONTRACTOR SHALL UNDERTAKE TRAFFIC CONTROL MEASURES TO COUNCES SATISFACTION AND SHALL DIRELAY ALL APPROPRIATE WARNING SIGNET THEOLOGICAL THE DIRATION OF CONSTRUCTION.
- UNSOUND MATERIALS AS DETERAINED BY THE COUNCIL'S REPRESENTATIVE SHALL BE REMOVED FROM ROADS AND LOTS PRIOR TO FILLING.

#### EARTHWORKS NOTES

- 1 CARE IS TO RE TAKEN DURING THE CONSTRUCTION OF THE PROPOSED WORKS TO EVALUEE NATURAL VEGETATION AND TOPOGRAPHY ON THE SUBJECT SITE IS NOT UNRECESSARILY DISTURDED ANY EXCANTION MATEBOAL NOT USED WITE CONSTRUCTION OF THE SUBJECT WORKS IS TO SEE DRAVED FROM THE SITE AND UNDER NO CIRCUMSTANCES IS TO BE CONVED FROM THE SITE AND UNDER NO CIRCUMSTANCES IS TO BE CONVED FROM THE SITE
- 2 COMOL W37 55 HOTHES OF ANY DAMAGE TO THE PUBLIC REPARTMENT OF SUCH AS ROAD PAVEMENT, KERE AND OUTTER, CONCRETE FORTHATIE, DEMAGE STRUCTURES, UTALITES AND LANGEAPING FRONTING THE DEVELOPMENT.
- Understand Nationals As Detremented in counces thereasen that is the BE REMOVED FROM FOODS AND LOSS FROM TO ANY FILLING. ALL STE REGISTIONICS AREAS SHALL BE GRADED TO ANY FILLING. ALL STE REGISTIONICS AREAS SHALL BE GRADED TO BE ARTISPACTION OF COUNCIL'S REPRESENTATIVE. THE CONTINUE SHALL TAKE LEVELS ON THE EXISTING SUPPORT AND ALL ATTER STREAM OF DIRION TO COMMENCIA ANY.
- FILL OPERATIONS. 5 SURPLUS EXCAVATED MATERIAL SHALL BE PLACED OR DISPOSED OF IN ACCORDANCE WITH THE CONTRACT, OR AS DIRECTED BY THE SUPERIMENENT.
- ALL SITE FILLING SHALL BE PLACED IN LAYERS NOT EXCEEDING COUNCILS AND CONTEND STOLENDARY FILLING TO BE COMPACTION IN ACCORDANCE WITH CONTEND STOLENDARY FILLING TO BE COMPACTION IN ACCORDANCE WITH CONTEND STOLENDARY FILLING TO BE COMPACTION IN ACCORDANCE WITH CONTEND STOLENDARY FILLING TO BE COMPACTION IN ACCORDANCE WITH CONTEND STOLENDARY FILLING STOLENDARY STOLENDARY FILLING STOLENDARY STOLENDARY FILLING STOLENDAR
- III. ALL STE FULLIME GRALES FLACED IN LAYENS MULT EXCEEDING COUNCILS AND GEOTECH SPECIFICATIONS AND 9E TESTED AT THE REQUIRED INTERVALS BY AN APPROVED N A.T.A. GEOTECHNICAL LARDRATORY.
- MINIMUM 190mm THICK TOPSOL SHALL BE SPREAD ON ALL BERMS BATTERS AND SHE REGRADING AREAS, EXCESS TOPSON, SHALL BE DISPOSED OF AS DIRECTED BY THE SUFERINFERDENT.
- 4 AL LAND DISTURBED BY EART-INVORKS SHALL BE BRRAY-DRASSED TURFED DR SIMILARLY THEATED TO ESTABLISH GRASS DOVER, BEED MICTURES ARE TO BE APPROVED BY COUNCE PHORT TO SPRAYING, ALL GRASSED AREA. SHALL BE REQUILARLY WATERED AND MAINTAINED UNTIL EXPRATION OF THE MAINTENICE PERIOD.
- I THE DISPOSAL ANDPLU OF SURPLYIE SCALARED WAREHAL OTHER THAN TO A DECC LIGHTER FACILITY. IS NOT PERMITTED WITHOUT SOMAL APPROVAL INFOM COUNCIL MPORT TO THE COMMENCIATION OF WORKS. ANY UNLITED WITHOUT DO TO SUBJECT TO ALL COMMENCIATION OF THE ADDRESS AND ALL COMMENCIATION OF THOSE OF THOSE OF THE COMMENCIATION OF THE ADDRESS AND ALL COMMENCIATION TO SUBJECT TO ALL COMMENCIATION OF THE ADDRESS AND ALL COMMENCIATION TO SUBJECT AND COMMENCIATION OF THE ADDRESS AND ALL COMMENCIATION TO SUBJECT AND ALL COMMENCIATION OF THE ADDRESS AND ALL COMMENCIATIONS OF THEM ALL UNPULS MARKED ALL LOSS OF DISPOSICION AND ALL COMMENCIATIONS OF THEM ALL UNPULS MARKED ALL LOSS OF DISPOSICION ALL ADDRESS AND ALL COMMENCIAL COMMENCIAL ADDRESS AND ALL ADDRESS AND ALL COMMENCIAL COMMENCIAL ADDRESS AND ALL ADDRESS AND ALL COMMENCIAL ADDRESS AND ALL COMMENCIAL COMMENCIAL ADDRESS AND ALL ADDRESS AND ALL COMMENCIAL ADDRESS AND ALL COMMENCIAL COMMENCIAL ADDRESS AND ALL ADDRESS AND ALL COMMENCIAL ADDRESS AND ALL COMMENCIAL COMMENCIAL ADDRESS AND ALL ADDRESS AND ALL COMMENCIAL ADDRESS AND ALL COMMENCIAL COMMENCIAL ADDRESS AND ALL ADDRESS AND ALL ADDRESS AND ALL COMMENCIAL COMMENCIAL ADDRESS AND ALL ADDRESS AND ALL ADDRESS AND ALL COMMENCIAL COMMENCIAL ADDRESS AND ALL ADDRE

#### SERVICE NOTES

- 1. THE CONTRACTOR IS TO IDENTIFY LOCATE AND LEVEL ALL EXISTING SERVICES PRIOR TO THE COMMENCEMENT OF CONSTRUCTION WORKS AND WHERE NECESSARY MARE ARRANGEMENTS WITH THE RELEVANT AUTHORITY TO RELOCATE OR ADJUST.
- L BARKER RYAN STEWART DOES NOT ACCEPT ANY LIABILITY FOR INACCURACIES IN THE SERVICE INFORMATION SHOWN
- S CONDUTS SHALL BE LAID AFTER POSITIONS HAVE BEEN DETERMINED BY THE RELEVANT AUTHORITIES AND REFORE FINAL PAVEMENT IS LAID
- A POSITION OF CONDUITS SHALL BE MARKED ON THE KERB.
- 5. THE CONTRACTOR SHALL MAINTAIN SERVICES AND ALL WETHER ACCESS AT ALL TIMES TO THE ADJOINING PROPERTIES.
- T. CARE SHALL BE TAKEN WHEN EXCAVATING NEAR EXISTING SERVICES, NO MICHANICAL EXCAVATION SHALL BE MADE OVER TELETRA OR EDECTRICAL SERVICES, EXCAVATE BY HAND ONLY IN THESE AREAS

#### DRAINAGE NOTES

- 1. ALL PITS DEEPER THAN 1.2m SHALL HAVE STEP IRONS PROVIDED IN ACCORDANCE WITH COUNCIL'S STANDARDS.
- 2 ALL DRAINAGE LINES THROUGH THE LOTS SHALL BE CONTAINED WITHIN THE EASEMENTS AND CONFORM WITH COLUNCIL'S STANDARDS
- 3 ALL CRAINAGE LINES UNDER ROADS SHALL HE BACKFILLED WITH SHARP SAND AND HAVE 3 ON OF AGRICULTURAL LINE WRAPPED IN AN APPROVED FILTER FABRIC, DISCHARGING INTO THE DOWNSTREAM PIT
- 4 SUBBOIL DRAINS SHALL BE CONSTRUCTED TO THE SATISFACTION OF COUNCIL'S REPRESENTATIVE
- E PRECAST KERB INLET LINTELS SHALL BE USED ON GULLY PITS, GRATES SHALL BE "WELDLOK" TYPE GOSDD OR APPROVED FOLIVALENT.
- 8 DN COMPLETION OF PIPE INSTALLATION, ALL DISTURBED AREAS MUST BE RESTORED TO DRIGINAL CONDITION INCLIMICS KERBS, FOOTPATHS, CONCRETE MREAS, GRAVEL AREAS, GRASSED AREAS AND ROAD PAVENETS.
- 21 TREACH WOTHS ARE TO BE KERT TO A MINAVAUL CONSISTENT WITH LAVING AND BEDOING OF THE RELEVANT EXERCISE AND CONSISTENT WITH LAVING AND SECOND OF THE RELEVANT EXERCISE AND ADDRESS FOR MINAWAM REPORT WORKS AND PTDS. REFERENCE AND ADDRESS TANDARDS FOR MINAWAM REPORT TREACHESS AND ADDRESS AND
- PITS ARE TO BE CONSTRUCTED IN ACCORDANCE WITH ASSISTED 32000 PLUMEINE MID DRAINAGE - STORMWATER DRAINAGE STANDARD UNLESS OTHERWISE BRECHED BE THE LOCAL COUNCIL OF AUTHORITY
- 9 PIT SIZES IN ACCORDANCE WITH AS3501.3 2003 AND/ OR COUNCIL
- 10. IF A PIT IS SHOWN ON THE KERB ALIGNMENT IT IS REQUIRED TO BE CONSTRUCTED AS A KERB INLET PIT UNLESS OTHERWISE NOTED.
- BACKFILL TRENCHES IN ACCORDANCE WITH COUNCY, REGUIREMENTS WITHOUT DELAY FOR THE SECTION OF PIPE THAT HAS BEEN COMPLETED AND APPROVED.
   POSSIBLE ON THE SAME WORKING DAY.
- ALL FITS WITHIN TRAFFICABLE AREAS TO BE FITTED WITH CLASS D GRATES. IRRATES IN NON TRAFFICABLE AREAS TO BE FITTED WITH CLASS B GRATES. IRRATES IN FOOTPATHS TO BE CITTED WITH NEEDINGOF GRATES.

#### COUNCIL NOTES

WORKS CARRIED OUT TO BLAYNEY SHIRE COUNCIL STANDARDS AND SPECIFICATIONS

	LEGEND	
DESCRIPTION	EXISTING	PROPOSED
ROOF DRAINAGE LINE		
DRAINAGE LINE		
CONTOUR		
SRATED SURFACE INLE? PIT	16	
SEALED PIT	61	
KERB (NLET PIT	1.00	-
PIT LABEL (LINE / No)	(E/T)	175
SUBSCIL		
150mm KERB & GUTTER	KG.	KC
INTEGRAL KERB	JR.	18
KERB ONLY	KO-	Ro
FLUSH KERB	58	DK.
RETAINING WALL		Personal Persons
ROAD PAVEMENT		
FOOTPATH		
TREE TO BE REMOVED	0	
BATTERS		ालनगणनग
LINIT OF WORKS		LIMIT OF DOWSTRUCT
PIT WITH DICEANGUARD PIT		

EXISTING SERVICES	
EX, FENCE LINE	
EK. COMMS MAIN	
EX. TELEPHONE LINE	i
EX, UNDERGROUND OPTICAL FIBRE	<u> </u>
EX OVERHEAD ELECTRICITY	
EX. UNDERGROUND ELECTRICTY	
EX. GAS MAIN	
EX. SEWER MAIN	
EX. WATER MAIN	

Scales: Plan

@A1 Horiz. Vert. X-Sect.

Daman A.H.D.



#### BLAYNEY MOTEL DETAILED CIVIL ENGINEERING DESIGN

CONSTRUCTION NOTES



REV

3

REY AMENDMENT

1 CONSTRUCTION CERTIFICATE

2 CONSTRUCTION CERTIFICATE

3 CONSTRUCTION CERTIFICATE

SHEET 107 CHURCH STREET SHEET 101 1J SHEE **OSMAN STREET** TAINT 14 SHEE SHEET WATER STREET PLAN SCALE 1:500 10 0 10 20 30 40 50 1:500 REV AMENDMENT SSUED DATE 
 SYDNEY
 HUNTER

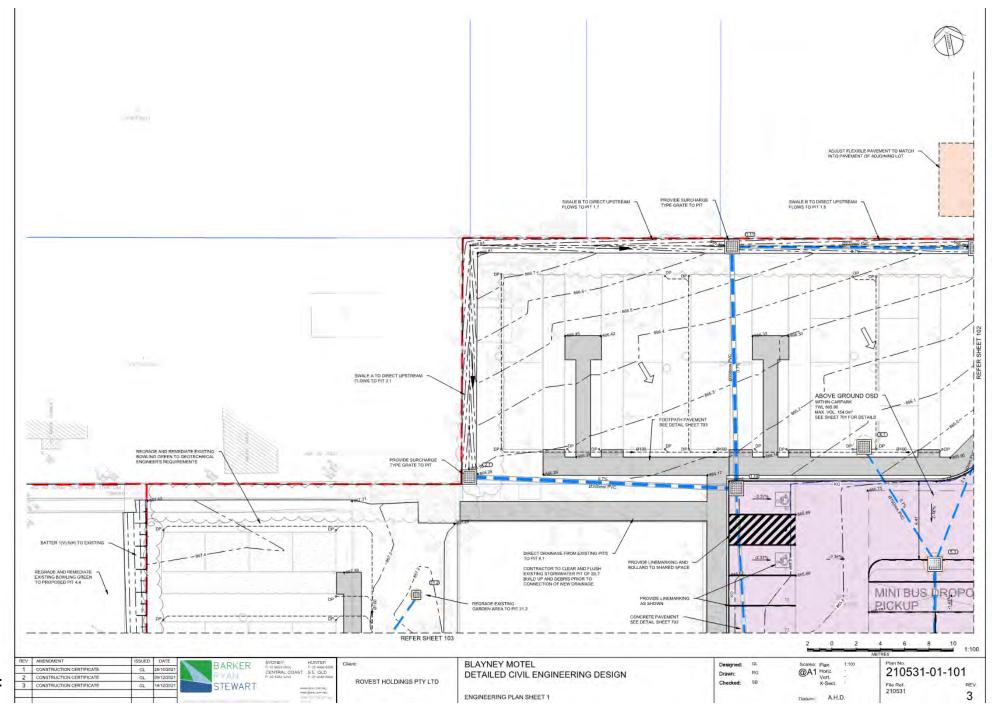
 P 102 4659 0006
 P 102 4609 650

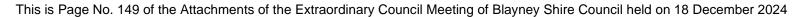
 CENTRAL COAST
 S.E. CLD

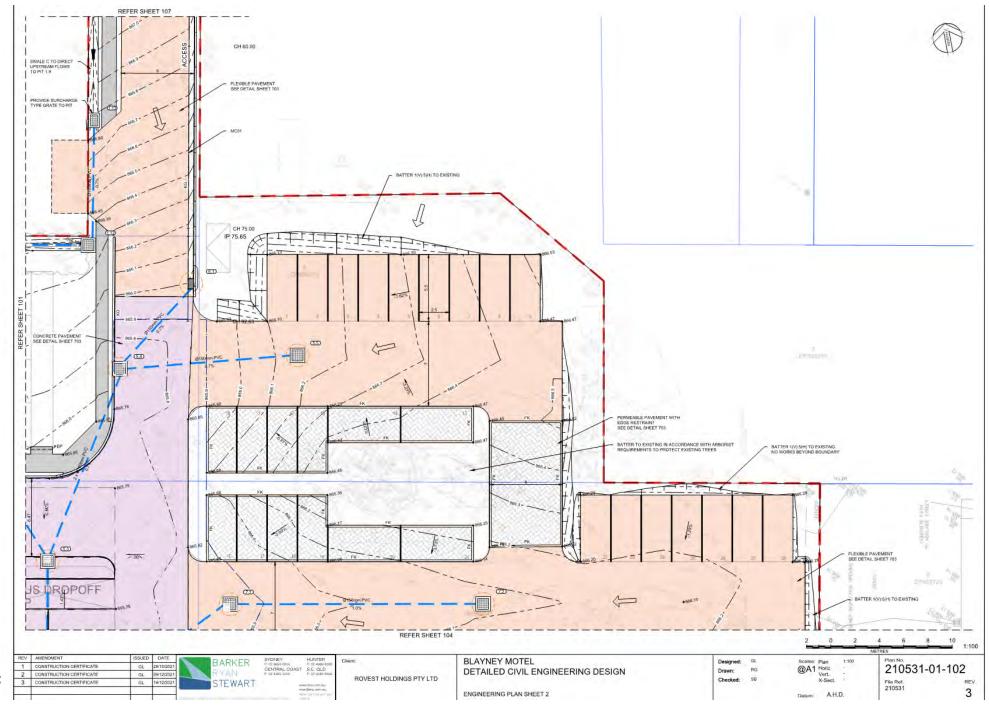
 P 102 4605 660
 P. 07 5660 660
 BLAYNEY MOTEL Scales: Plan @A1 Horiz Vert. X-Sect. BARKER Client Designed: GL 1:500 210531-01-021 1 CONSTRUCTION CERTIFICATE GL RG DETAILED CIVIL ENGINEERING DESIGN Drawn: 2 CONSTRUCTION CERTIFICATE GL NO: ROVEST HOLDINGS PTY LTD Checked: SB REV. STEWART File Ref. 210531 3 CONSTRUCTION CERTIFICATE GL SITE PLAN A.H.D.

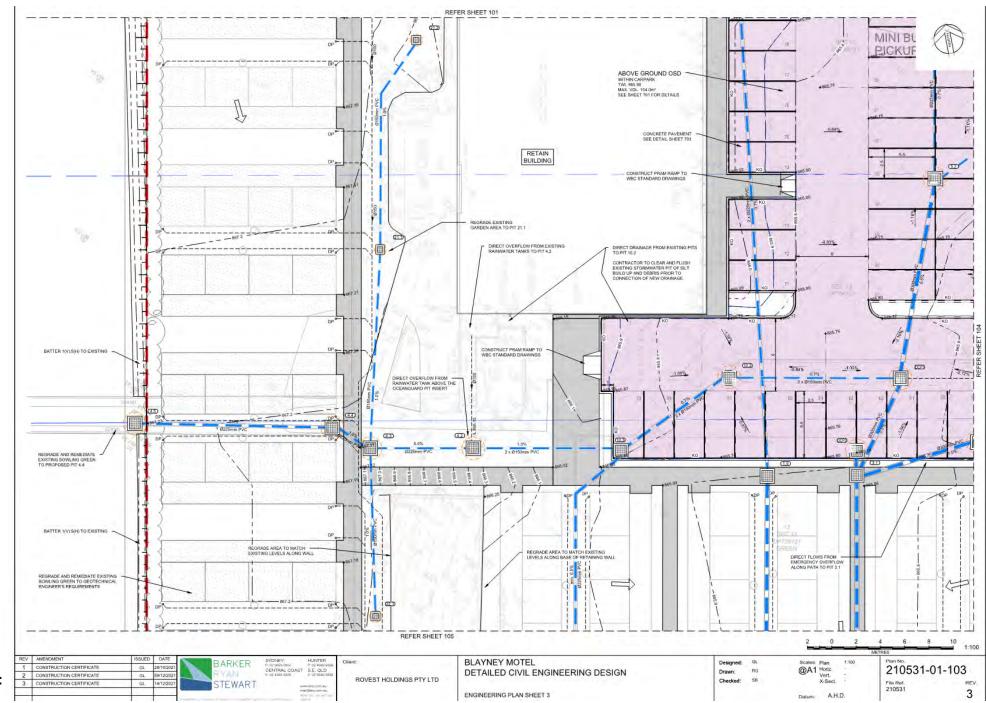
This is Page No. 147 of the Attachments of the Extraordinary Council Meeting of Blayney Shire Council held on 18 December 2024

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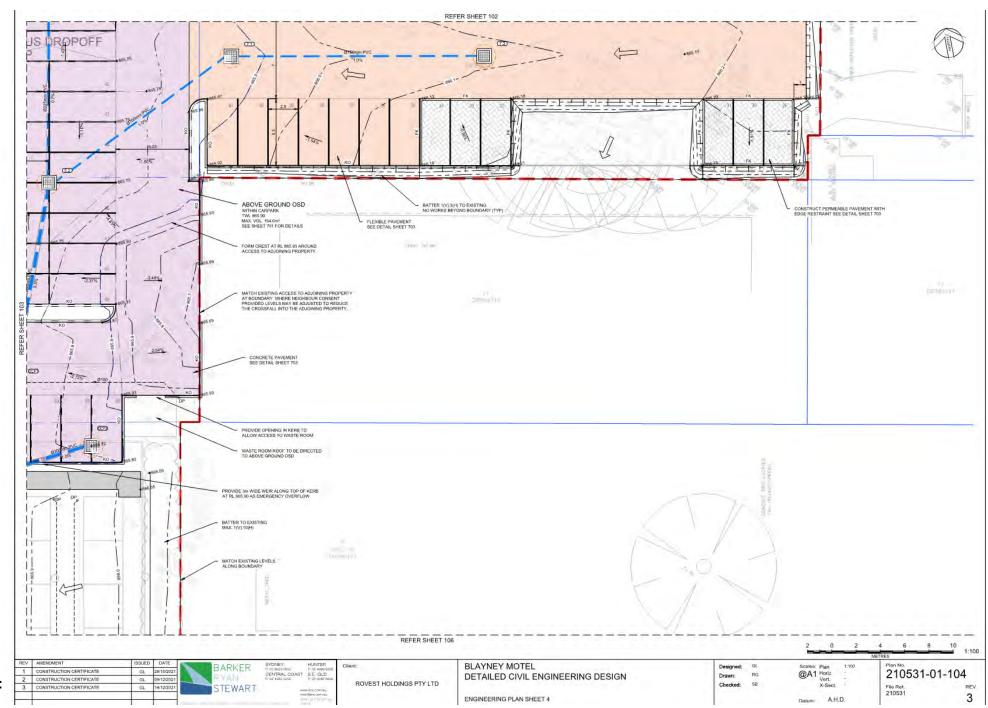




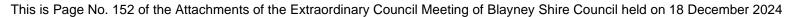


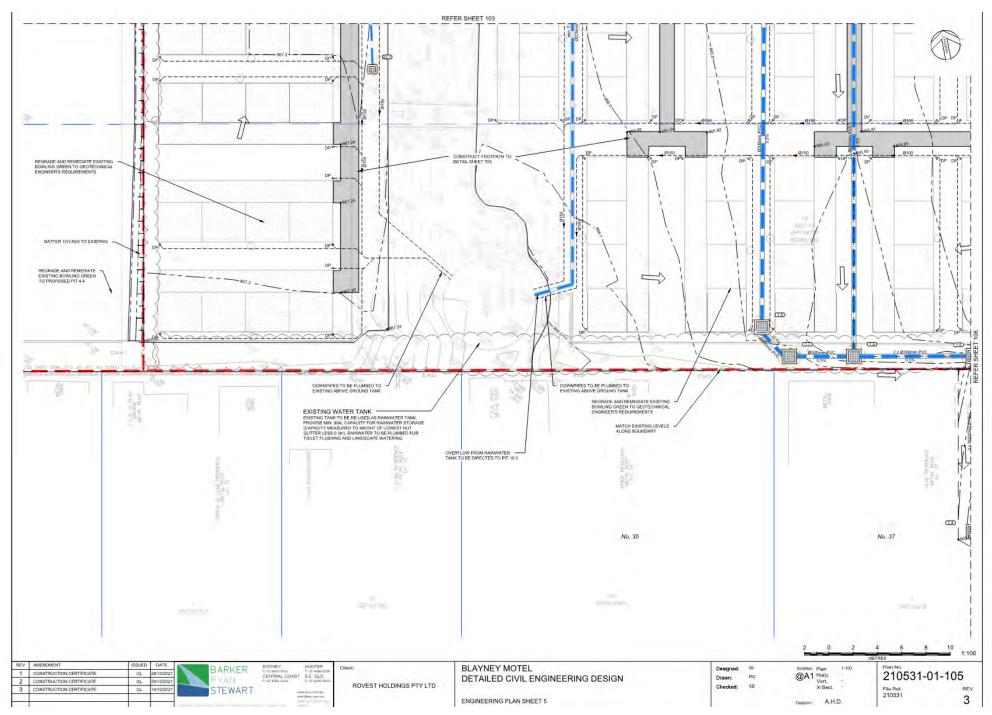






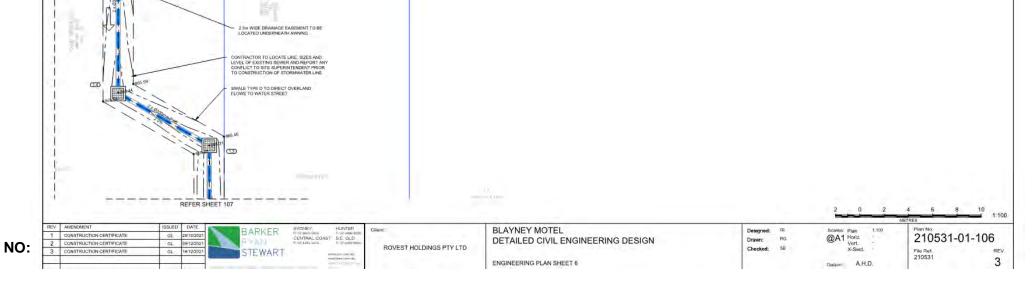
## This is Page No. 151 of the Attachments of the Extraordinary Council Meeting of Blayney Shire Council held on 18 December 2024



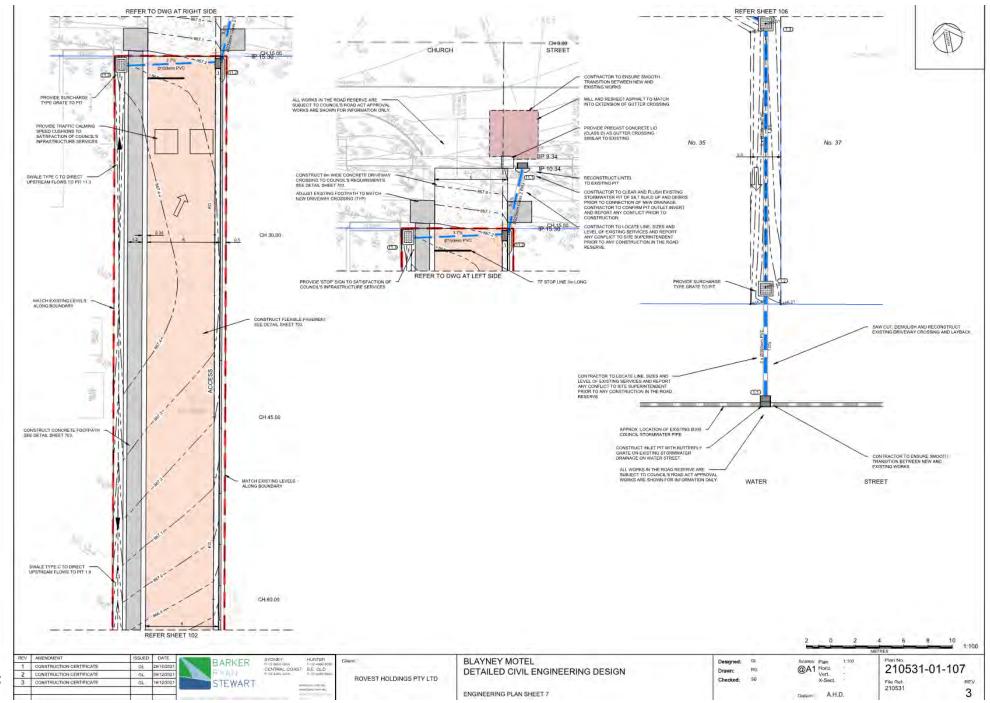


# REFER SHEET 104 2 BATTER TO EXISTING MAX. 1(V) 10(H) MATCH EXISTING LEVELS ALONG BOUNDARY 863.9 CID PVC 18

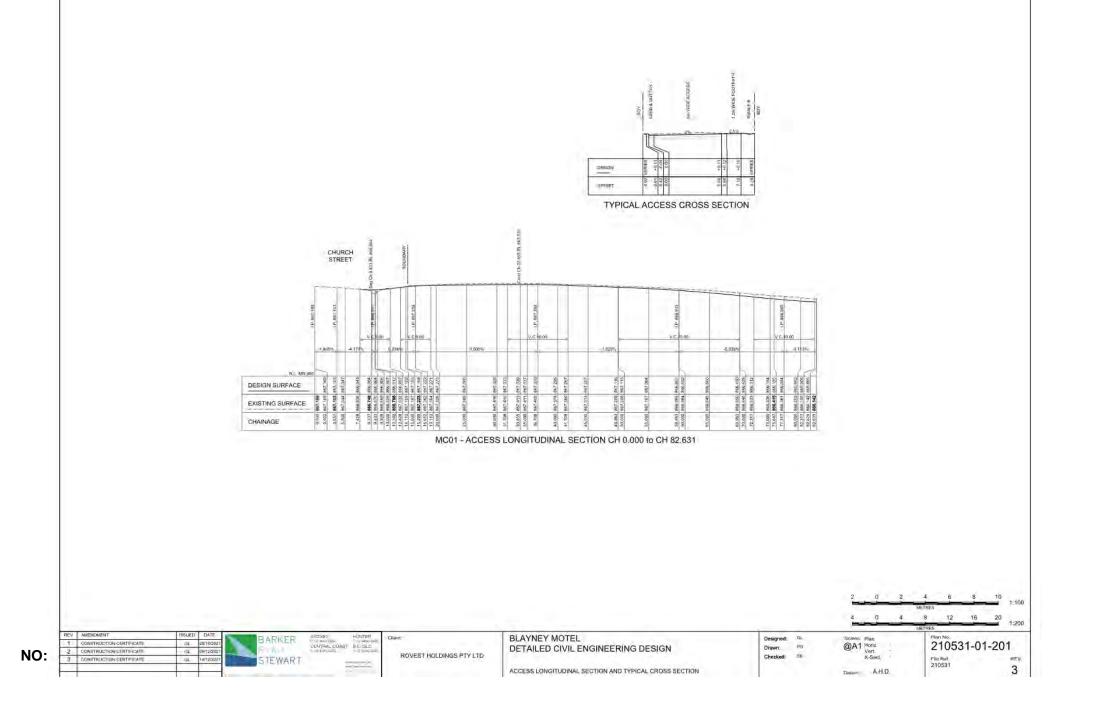
# This is Page No. 153 of the Attachments of the Extraordinary Council Meeting of Blayney Shire Council held on 18 December 2024



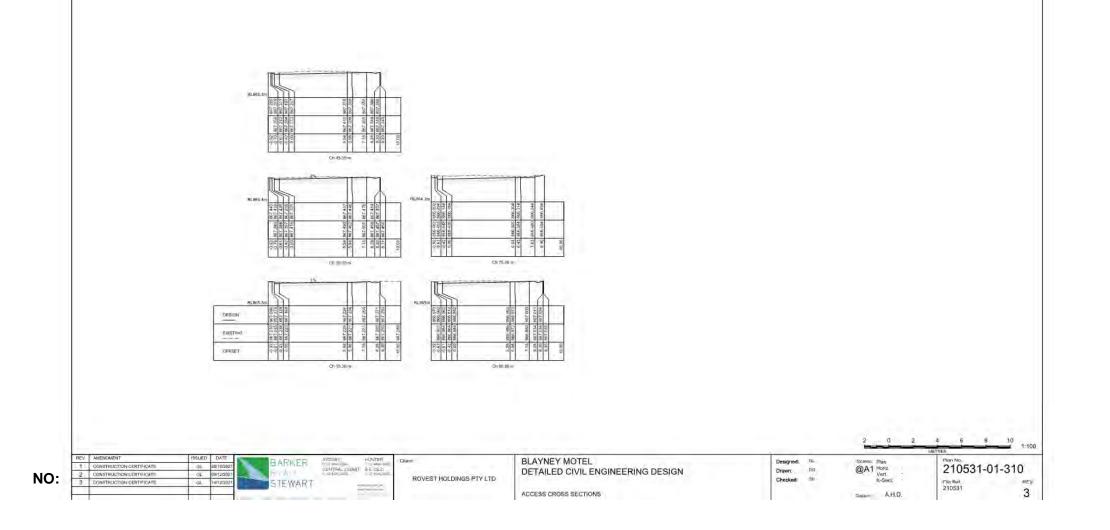
### This is Page No. 154 of the Attachments of the Extraordinary Council Meeting of Blayney Shire Council held on 18 December 2024

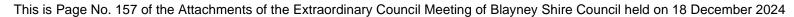


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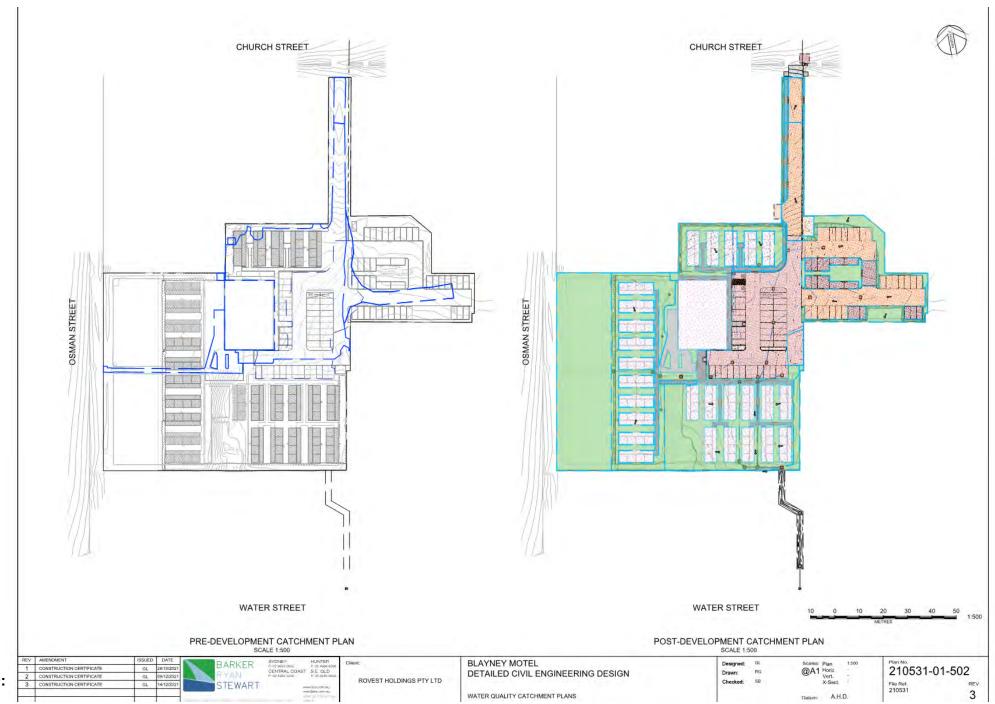
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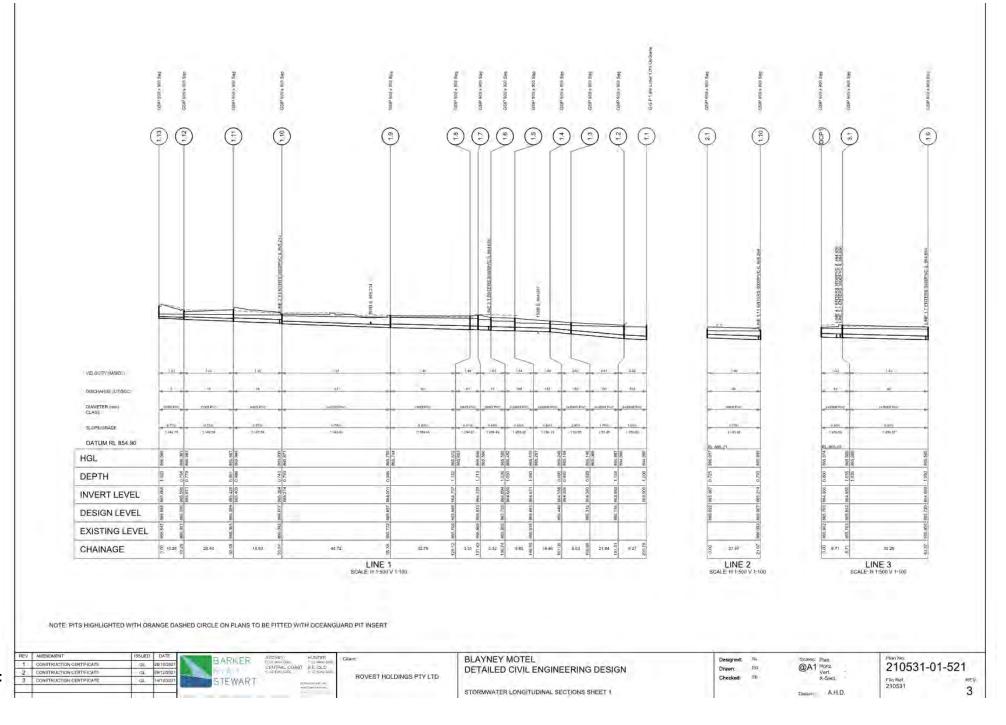


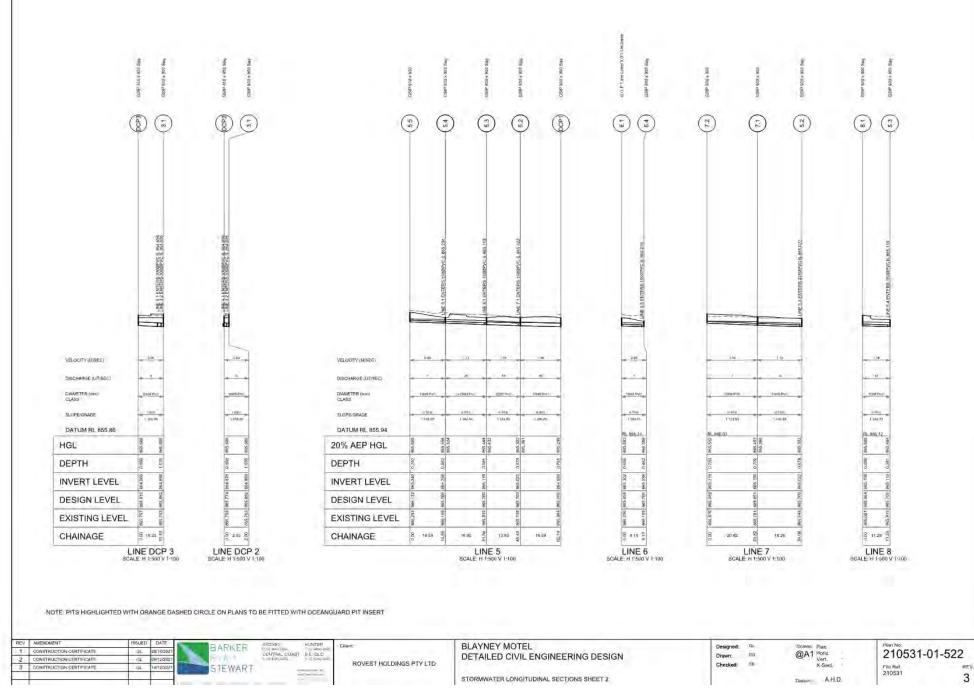






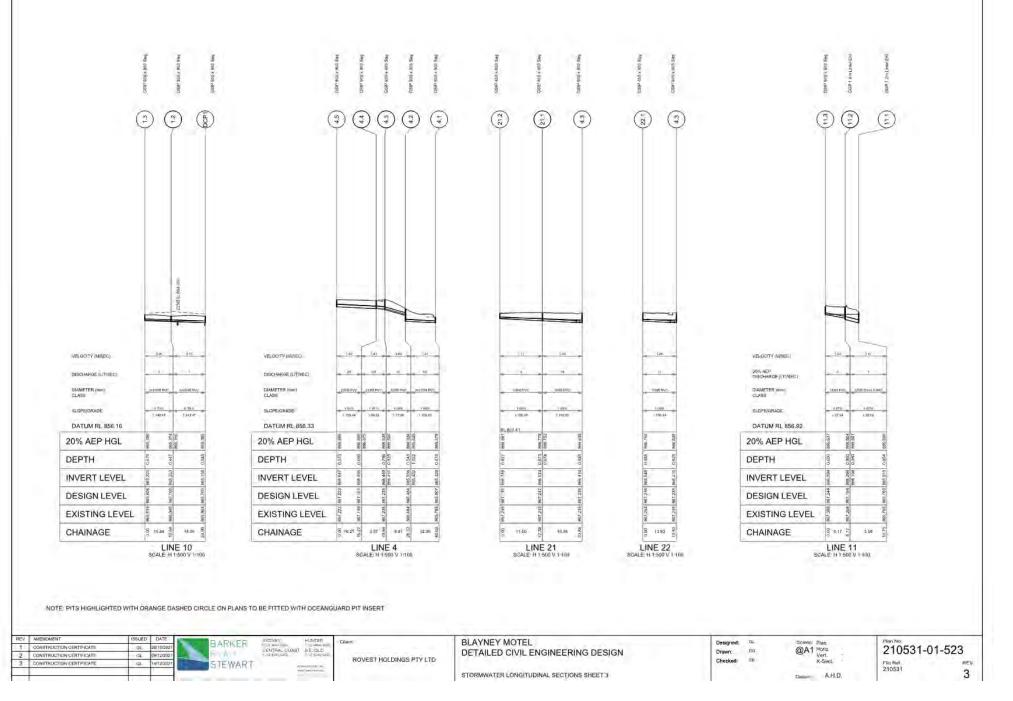




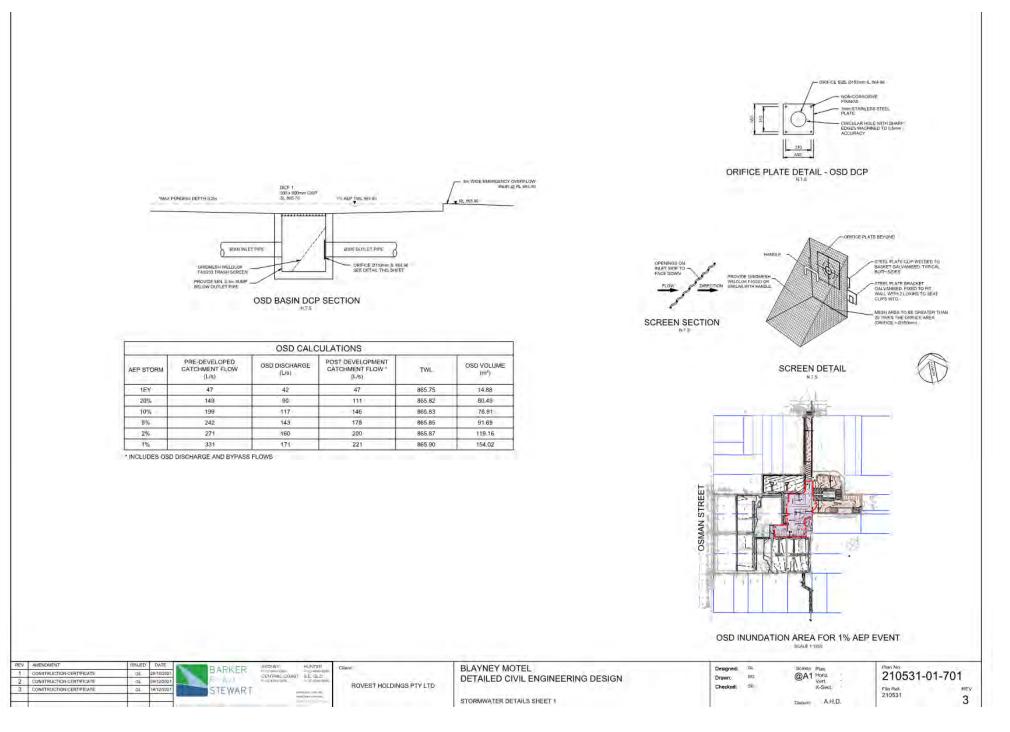


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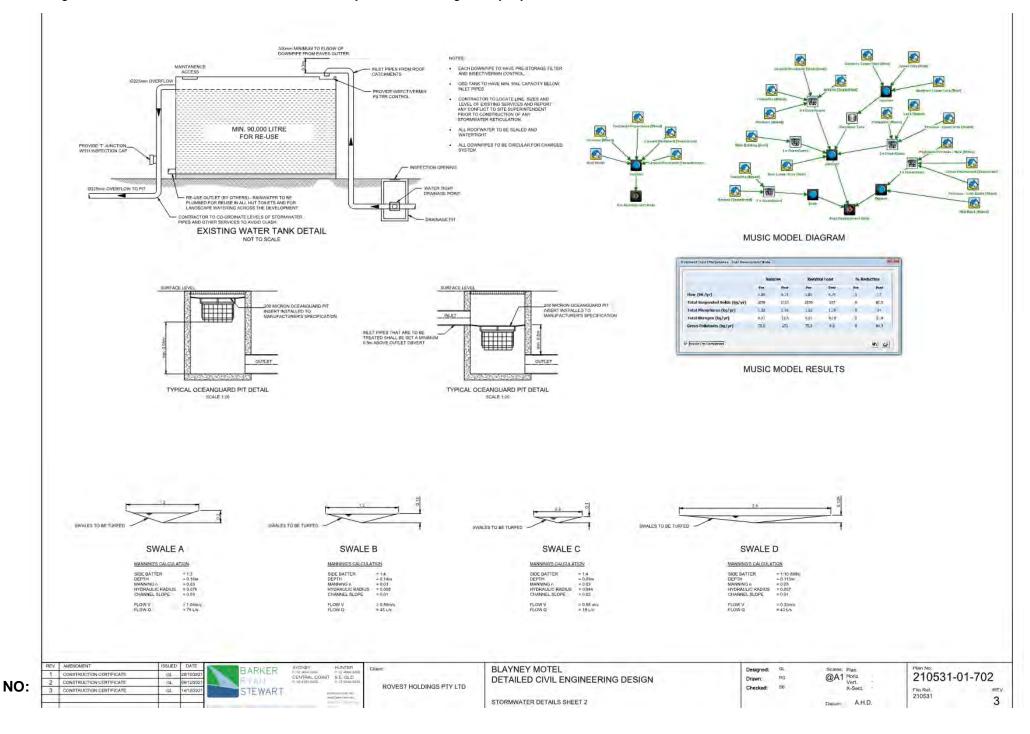
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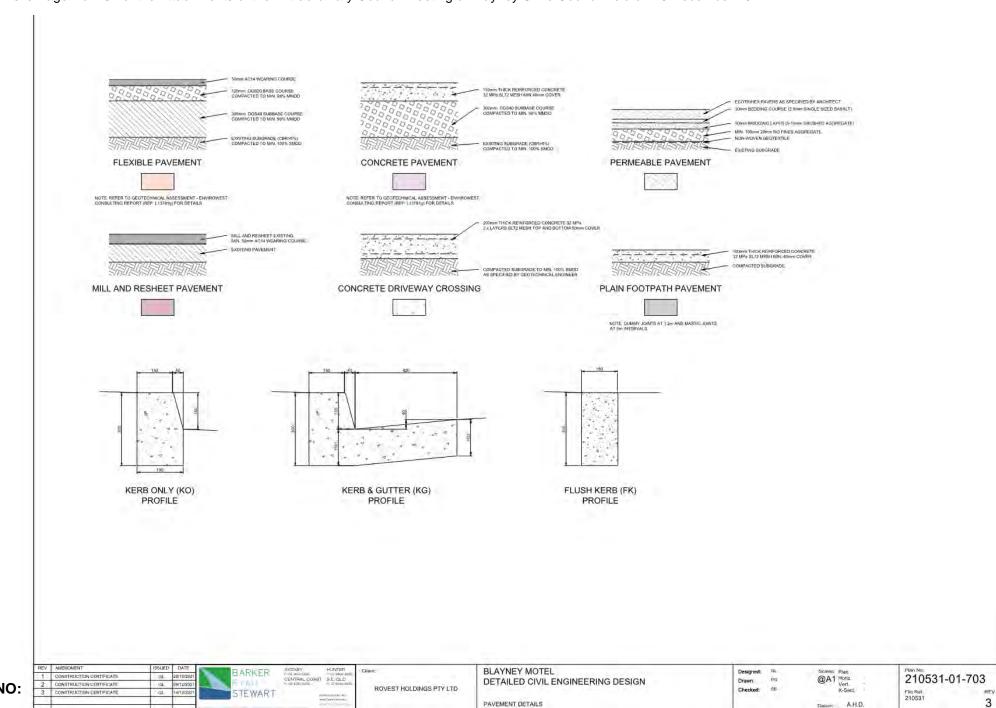


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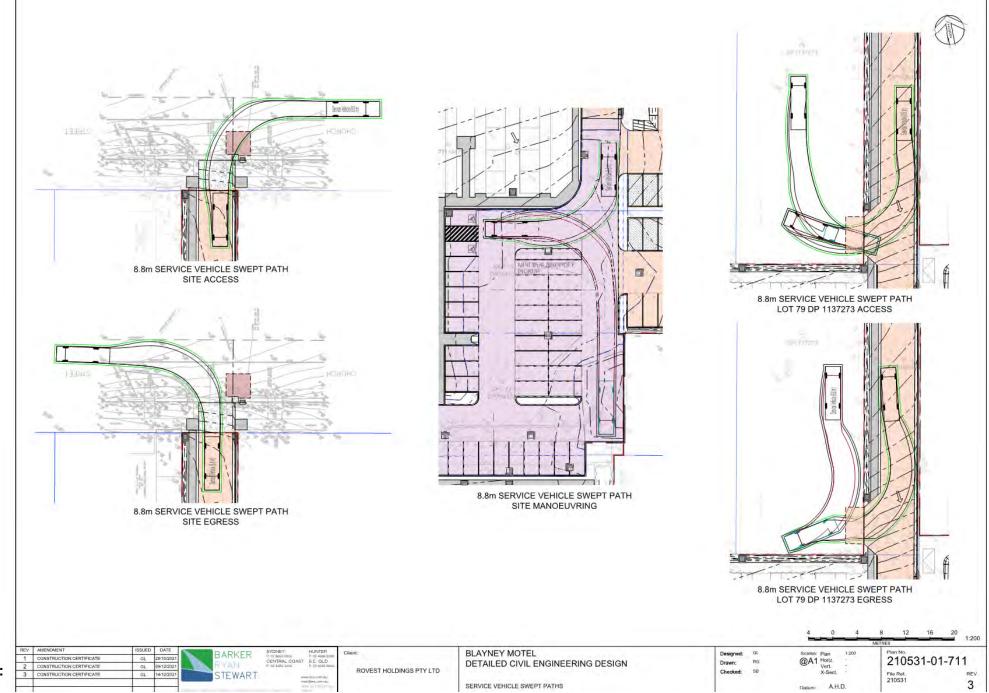




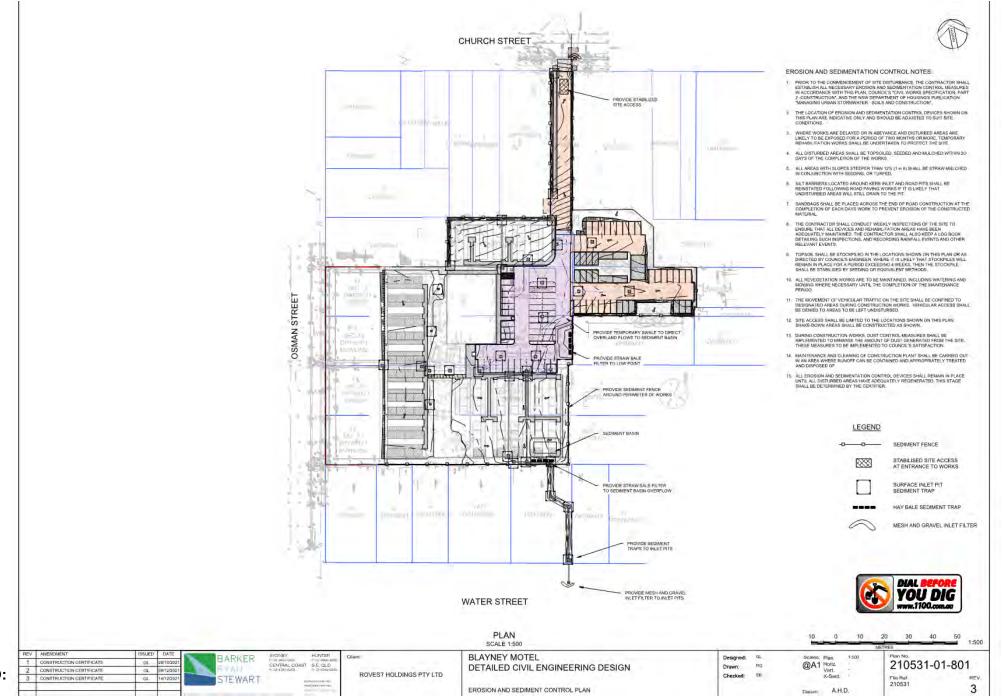
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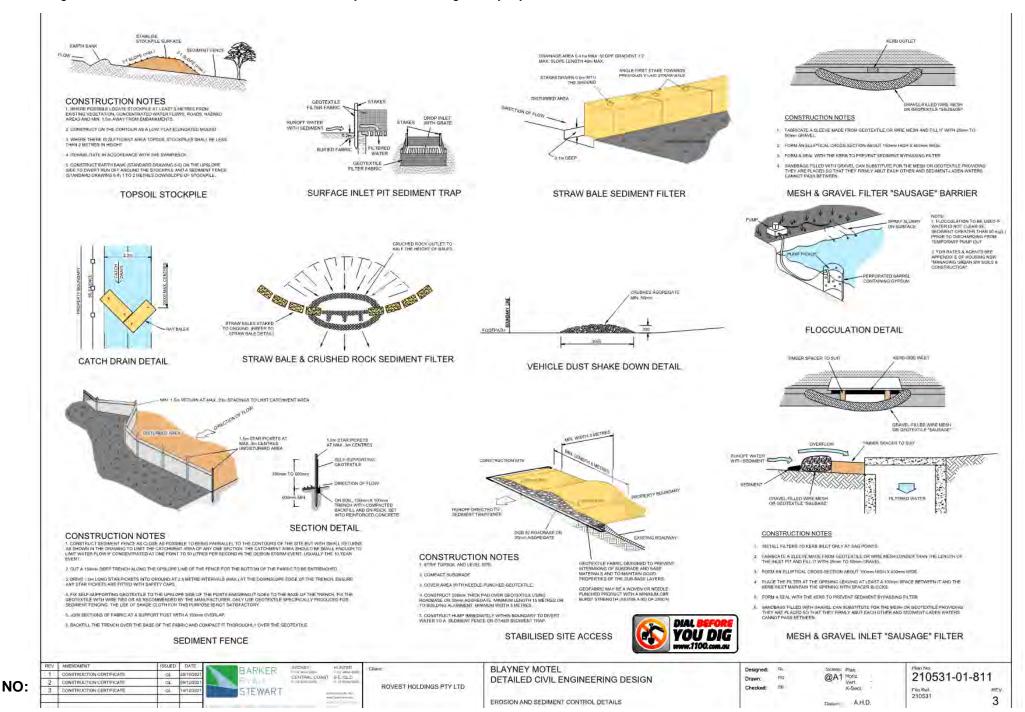
## This is Page No. 165 of the Attachments of the Extraordinary Council Meeting of Blayney Shire Council held on 18 December 2024



This is Page No. 166 of the Attachments of the Extraordinary Council Meeting of Blayney Shire Council held on 18 December 2024



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Blayney Motel Development Development Application Statement



Architecture & Access (Aust) Pty Ltd 45 159 663 582

P 1300 715 866 E info@archaccess.com.au www.architectureandaccess.com.au

# **Development Application Statement**

Blayney Motel Development Project Number: AA00838

Attention: Raine Whittle	
Company: Diversified Minerals Pty Ltd	
Email: raine@divgroup.com.au	
Date: 26.07.2024	Our Ref: AA00838
Access Consultant: Patricia Flores	Email: pflores@archaccess.com.au
QA Reviewer: Felicity Mills	Email: fmills@archaccess.com.au

Dear Raine,

I am writing to provide a statement regarding the Blayney Motel Development. It is our understanding that the development is to be Class 3, and that the occupants are to be FIFO mining workers, their invited guests, and staff associated with the complex. A total of 102 units are provided, including 6 accessible sole occupancy units (SOUs).

As per the letter by Andrew Muir of Blayney Shire Council dated 23.04.2024, point #3 requests:

An Access Consultant's Report to demonstrate compliance with the performance provisions of Clause D1P1 of the BCA should the existing modular buildings not to be provided with access for people with disabilities to the common areas under the verandahs in accordance with the deemed-to-satisfy provisions of Clause D4D2.

It is noted that council refer to the clauses from NCC 2022, however the building is being assessed under NCC 2019. The equivalent clauses are as follows:

- NCC 2022 D1P1 = NCC 2019 DP1. Performance requirement 'Access for people with a disability'.
- NCC 2022 D4D2 = NCC 2019 D3.1. Deemed-to-satisfy requirement 'General building access requirements.

These will be the clauses referred to moving forward in this statement, and for the performance solution report.

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Blayney Motel Development Development Application Statement



Architecture & Access have completed a review of the documents listed below:

DRAWING	TITLE	REVISION	DATE
ABI	TYTLE, STITL LIKEALITY AND SKI FEBLE OF CRIMINES	E	15,17,3134
All2	PRE-LEVELEPMENT SITE PLAN	Ê.	9.67.224
Alta	STC AVALTUS PLAN	,E	13.07.7395
Altik	ERITWO STE PLAN	e	15.07.200×
Alce	PROPOSED BITT PLAN	E	1001.0024
6009	VIDHICLE TURNING PATHS PLAN	8	15 27, 3524
6007	PLAVE AND ELEVATIONS OF EXISTING & DOKS 1.21	E	1517,224
4008	PLANS AN ELEVATIONS OF PROPOSED BLOCK 74	(E)	1517,004
AIRE	PLANE AND ELEVATIONS OF PROPOSED BLOCK 26	E	19.67.209
A012	PART SITE PLAN OF PROPERTINEW ACCOMMISSION BLOCKS	E	15.07.2594
(A01	EXISTING BUILDING LOWER GROUND FLOOR PLAN	É.	15.07.2004
Abt2	EXITING AULDING UPPER SECURD FLOOR PLAN		15.07.2004
H013	THETHIG BUILDING BUILTIATIONS		15.07.2004

## Legislative Requirements

The following benchmarks were used to assess access for people with a disability:

- National Construction Code (NCC) 2019 Volume One Amendment 1 Building Code of Australia 2019 Sections D3 and F2.4.
- AS 1428.1:2009 Design for access and mobility General Requirements for Access New Building Work
- AS/NZS 1428.4.1:2009 Tactile Ground Surface indicators for the Orientation of People with Vision Impairment
- AS/NZS 2890.6:2009 Off street parking for people with disabilities

#### Design Commentary

A ramp provides access to Blocks 22-25 (18 x SOUs), and all other unit blocks are by stair access only.

It is our understanding that Blocks 1-21 were originally intended to be classed as temporary structures, and were built on raised stilts. Since being designated as Class 3, it is proposed the buildings will be provided with a deck at the same level as the front entry doors, with stair access to the decks.

It is understood it is intended to have spaces for communal gathering throughout the development, which will include a refurbishment of the existing building at a future time. Accessible paths of travel are to be provided to all communal areas.

#### Performance Solution

Architecture & Access intend to prepare a performance solution for stair only access to be provided to Blocks 1-21, addressing Performance Item DP1 of NCC/BCA 2019, that is:

Access must be provided, to the degree necessary, to enable-

(a) people to-

(iii) access work and public spaces, accommodation and facilities for personal hygiene.

#### Influencing factors:

L

- Persons staying in the accommodation will be known prior to their arrival, and the appropriate room can be allocated accordingly based on the user's needs.
- Ramped access is provided to 18 SOUs, including all of the designated accessible rooms.
- The accommodation is intended to house FIFO mine workers, who are required to be of ambulant ability to perform their duties.
- If a visitor to the site is unable to navigate the stair access, there are alternative communal spaces they
  can meet with residents of the camp to conduct social activities.

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Blayney Motel Development Development Application Statement



#### Anticipated Conditions:

- Operational management plan.
- All other paths of travel comply with the NCC/BCA requirements.
- All stairs and ramps comply with the NCC/BCA requirements, including inter-alia clauses from AS1428.1:2009.

The performance solution will be provided as part of the Building Approval, and signed by all relevant stakeholders. Council will be provided with a copy of this performance solution.

We trust this satisfies the query raised.

Yours sincerely,

1 dtucin Tores

Patricia Flores Senior Access Consultant ACA Accredited Member #247

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Acoustik 13 Orana Street Orange 2800 Phone +61 (0) 431 914 038 admin@acoustik.net.au ABN: 27238273391 (REF: 2308.05.Letter.A r1)

4 October 2023 Adam Goodsir Kensington Building Orange NSW 2800

# Blayney Worker Accommodation - DnT,W measurement Report

Acoustik tested acoustic isolation ratings between bedroom/ensuite units located at an accommodation site in Blayney NSW. Four (4) bedroom/ensuite units are contained within each portable building located on the site. Acoustik randomly selected two portable buildings (buildings 3 and 5) of the 23 single room portables and tested three of the rooms in each portable.

Due to recent legal action, there is a requirement that the portable buildings be treated as class 3 buildings according to the performance requirements of Section F – Heath and Amenity - Part F5 "Sound insulation for building elements" of the National Construction Code (BCA).

The performance requirements are extracted in Figure 1 below.

FP	5.2 Sound transmission through walls
	Is separating sole-occupancy units or a sole-occupancy unit from a plant room, lift shaft, stairway, public corridor, lic lobby, or the like, or parts of a different classification, must provide insulation against the transmission of-
(a)	airbome sound; and
(b)	impact generated sound, if the wall is separating a bathroom, <i>sanitary compartment</i> , laundry or kitchen in one <i>sole</i> - occupancy unit from a <i>habitable room</i> (other than a kitchen) in an adjoining unit, sufficient to prevent illness or loss of amenity to the occupants.
100	pfication: 5.2 only applies to a Class 2 or 3 building.

The NCC provides verification measurements criteria so that built structures can be tested for compliance against the criteria. The verification criteria provided by the NCC are extracted in

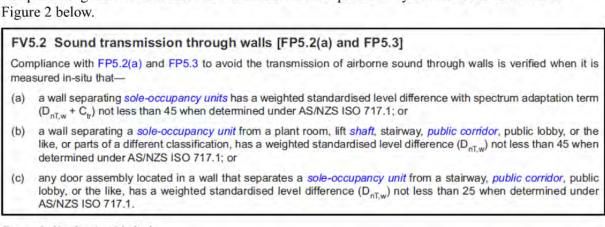


Figure 2: Verification Methods

Acoustik understands that Blayney Council can exercise discretion regarding full compliance with the NCC requirements.

## Blayney Worker Accommodation - DnT,W measurement Report

A middle room in each building was used at the source room and the rooms on each side as the receiver rooms. Four tests were conducted in each building, two tests measured the isolation proved by the sole occupancy unit (SOU) walls as noted in Figure 3 below.

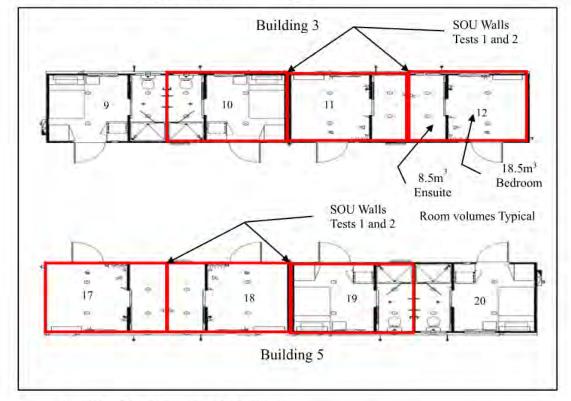
Two additional tests were conducted to determine the isolation to a habitable room with its own ensuite door closed and between habitable rooms that have adjoining ensuites. These two additional tests are not strictly in accordance with the purposes of the NCC as they do not measure the SOU wall directly, but they will be informative of the practical acoustic isolation experienced by the room occupant as the primary purpose of the rooms are for sleeping and relaxation. Catering, social and living room facilities are provided in the repurposed bowling club house.

For the building 3 the tests are:

- 1. Room 11 ensuite to Room 12 ensuite sole occupancy wall ensuite to ensuite
- 2. Room 11 Habitable to Room 10 Habitable sole occupancy wall
- 3. Room 11 ensuite to Room 12 Habitable
- 4. Room 11 Habitable to Room 12 Habitable

For the building 5 the tests are:

- 1. Room 18 ensuite to Room 17 ensuite sole occupancy wall ensuite to ensuite
- 2. Room 18 Habitable to Room 19 Habitable sole occupancy wall
- 3. Room 18 ensuite to Room 17 Habitable
- 4. Room 18 Habitable to Room 17 Habitable



#### Figure 3: Selected buildings and room layout

I

The measured  $D_{nT,W}$  results are listed in Table 1 below. Table 1 includes a column of the expected noise level in the noise receiver room if the occupant in the adjacent room was watching television or having a medium to loud conversation on a mobile phone at 70 dBA. The provided televisions in the room are small and would not emit significant low frequency noise.

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Test	Room to Room	D <sub>nT, W</sub> (C; C <sub>tr)</sub>	D <sub>nT,W</sub> + C <sub>tr</sub> > 45	Receiver Television noise level (dBA)	Notes
	Building 3				
1	R11 Ens to R12 Ens	31 (-3; -10)	21	42	
2	R11 to R10	49 (0; -8)	41	21	
3	R11 Ens to R12 Hab	43 (0; -10)	33	27	Ensuite door in room 12 closed
4	R11 Hab to R12 Hab	50 (1; -8)	42	19	Ensuite door in rooms 11 and 12 closed
	Building 5				
1	R18 Ens to R17 Ens	31 (-3; -7)	24	42	
2	R18 to R19	46 (-1; -9)	37	25	
3	R18 Ens to R17 Hab	43 (-2; -11)	32	25	Ensuite door in room 17 closed
4	R18 Hab to R17 Hab	51 (0; -10)	41	19	Ensuite door in rooms 18 and 17 closed

## Blayney Worker Accommodation - DnT,W measurement Report

Table 1: D<sub>nT,w</sub> Test Results

"Ens" == Ensuite, "Hab" == Habitable room (typically the bedroom in this case) Room ambient noise levels were in the range of 23 to 28 dBA during testing, conversations/television from adjacent rooms above 30 dBA would be clearly audible in bedrooms. Levels below 25 dBA would be barely audible assuming similar ambient level.

# Assessment

The ensuite to ensuite SOU wall falls up to 23 dB below the required  $D_{nT,w} + C_{tr}$  requirement of 45 dB. The rooms with adjoining habitable spaces (tests 2) result in a shortfall of 4 dB and 8dB below the 45dB requirement.

For the isolation results between the habitable rooms with both ensuite doors closed (tests 4) both  $D_{nT,w} + C_{tr}$  results are at or above 41 dB, 4 dB short of the 45 dB requirement.

The Class 3 building is the correct classification for the type of accommodation provided as noted in the NCC Document<sup>1</sup> "Understanding the NCC Building Classifications, page 2" where it is stated that "*Class 3 buildings are a common place of long term or transient living for a number of unrelated people ... Class 3 buildings could also include dormitory style accommodation, or workers' quarters for shearers or fruit pickers.*"

The major purpose of this development is to provide sleeping quarters for workers at the local industry and mines. The accommodation is transient to medium term. Bed rooms only have occupancy for a single individual, no additional seating is provided for guests.

Rectification works to SOU walls are not feasible given the portable building construction does not have sufficient space to accommodate modifications.

The shortfall in provided sound isolation is noted and the developer is taking the following steps to mitigate the shortfall. The following conditions of occupation at the site will be included in contractual rental agreements:

- 1. Information is provided to occupants that the accommodation falls short of the NCC requirements regarding sound isolation between rooms
- 2. Noisy activity in bedrooms rooms is not permitted and especially during sleeping periods noting that shift workers may be sleeping during the day. Primarily the bedrooms are for sleeping and relaxation
- 3. Occupants are advised to close ensuite doors when ensuite is not in use to improve sound isolation to adjoining SOU
- 4. Signage will be posted in common areas of the development and in rooms regarding noise creation. Loud phone conversations in bedrooms are to be avoided.

<sup>&</sup>lt;sup>1</sup> https://www.abcb.gov.au/sites/default/files/resources/2022/UTNCC-Building-classifications.PDF

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Blayney Worker Accommodation - DnT,W measurement Report

# Instrumentation

Instrumentation listed in Table 2 was used to make room sound and reverberation measurements

Table 2: Instrumentation List

Instrument	Make and model	Serial No	Type/Class	
Sound Level Meter	Larson Davis 831	3983	Class 1	
Field Calibrator	Larson Davis CAL250	5542	Class 1	

Instrumentation was field calibrated before and after measurements and has NATA certified calibration within one year of validity; no significant calibration drift was noted during the measurements.

# Qualifications

Tom Harper BE (Mechanical), BA (Chinese Studies), MAAS

Mr Harper is a full member of the Australian Acoustical Society (Member since 2002). Working as an acoustic consultant since graduating from the University of NSW in 1998 both domestically and internationally in Singapore and Southeast Asian countries.

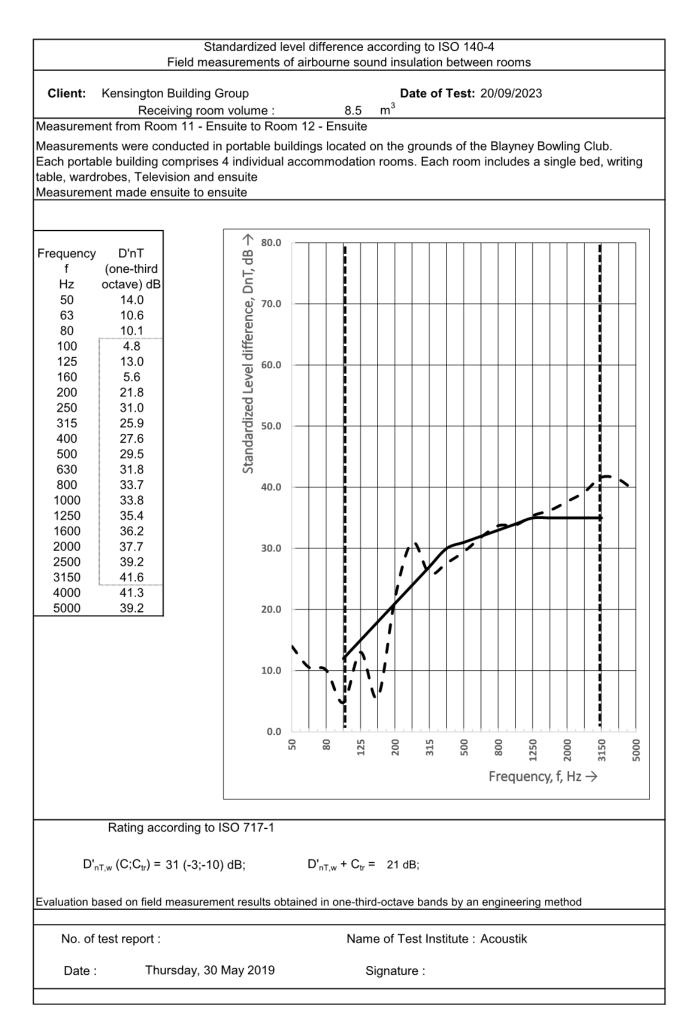
Acoustik was established in August 2013 and provides a full range of professional acoustic consulting services.

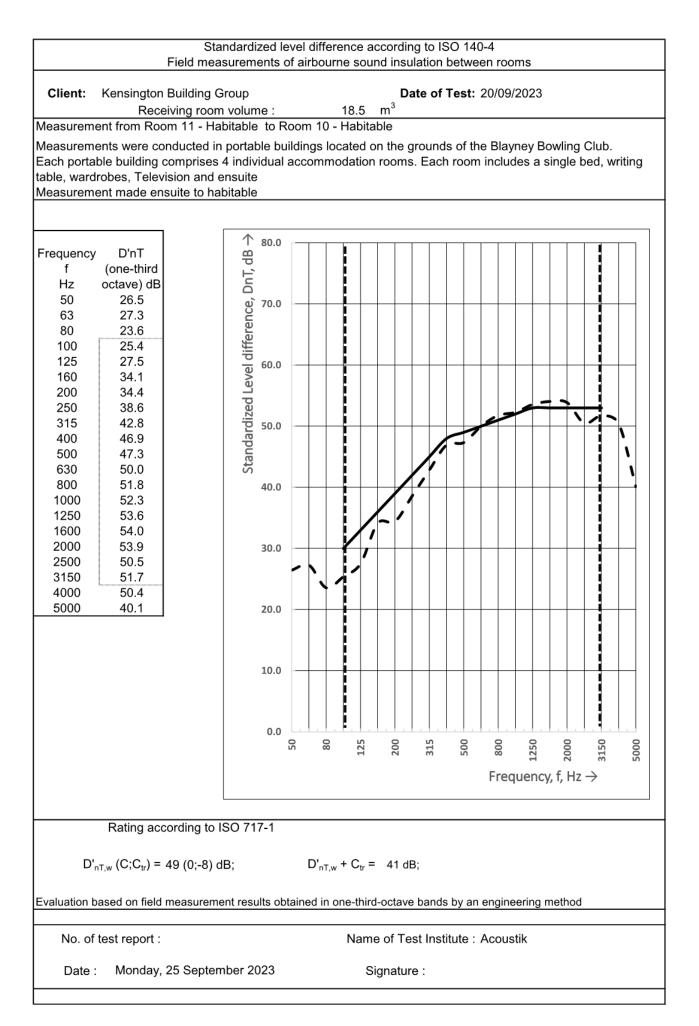
For any enquires regarding the above measurement please contact Acoustik.

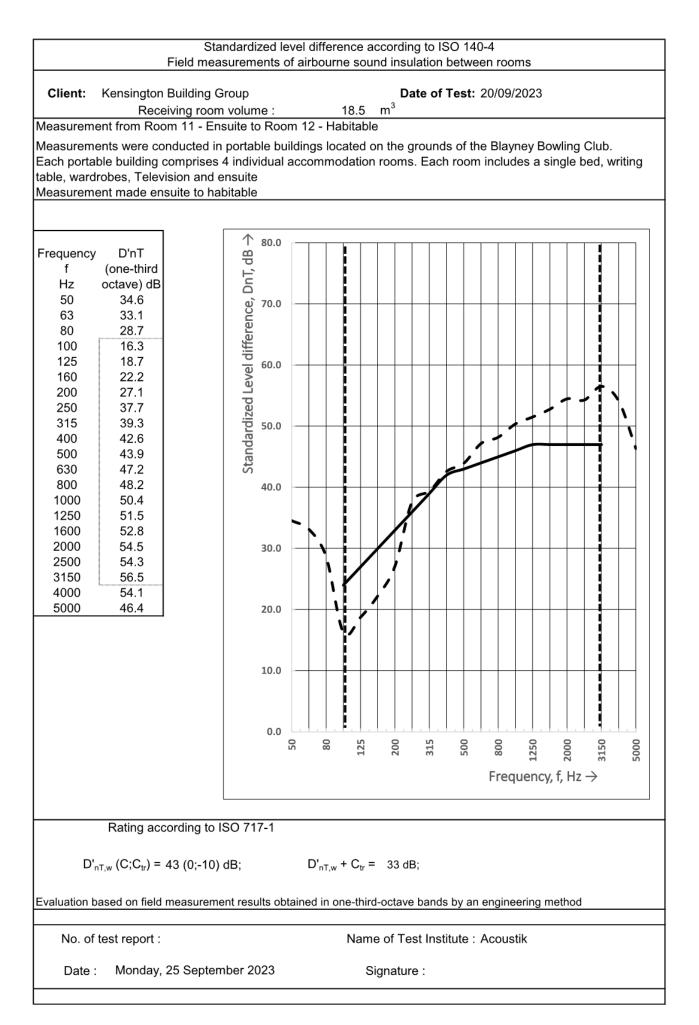
Sincerely,

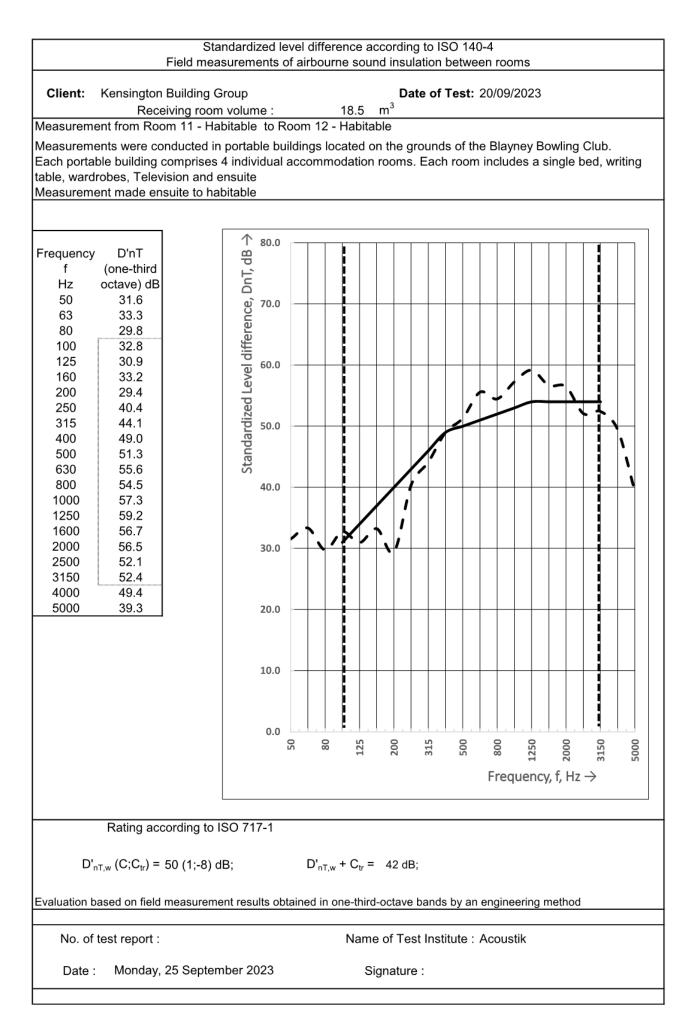


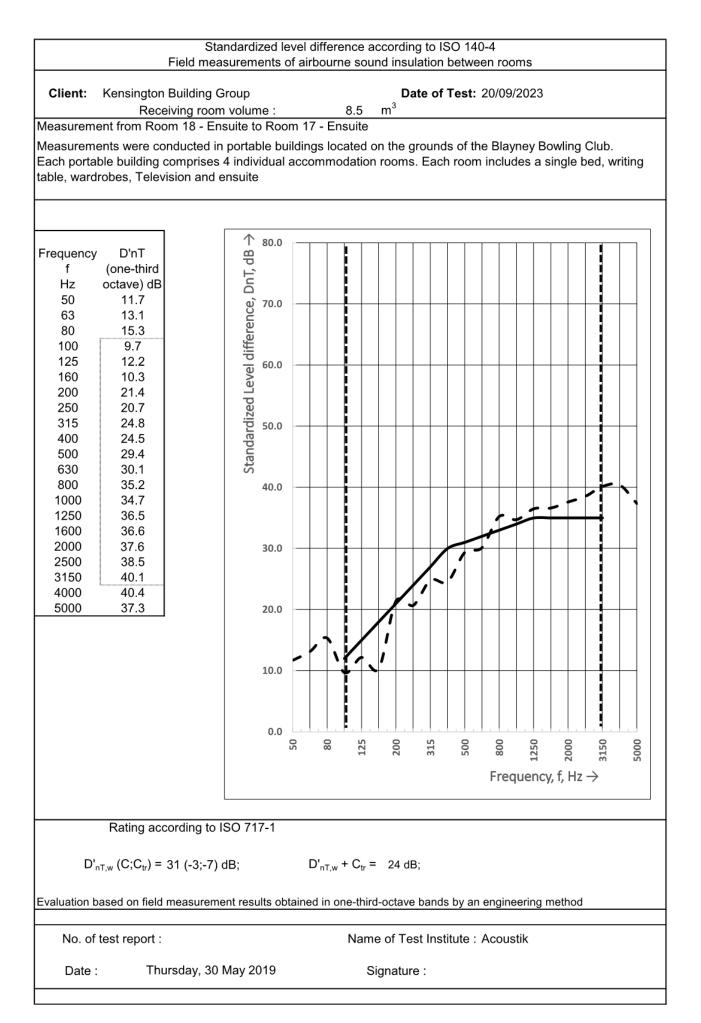
**Tom Harper** Principal Engineer Acoustik **Enclosed:** D<sub>nT,W</sub> test results

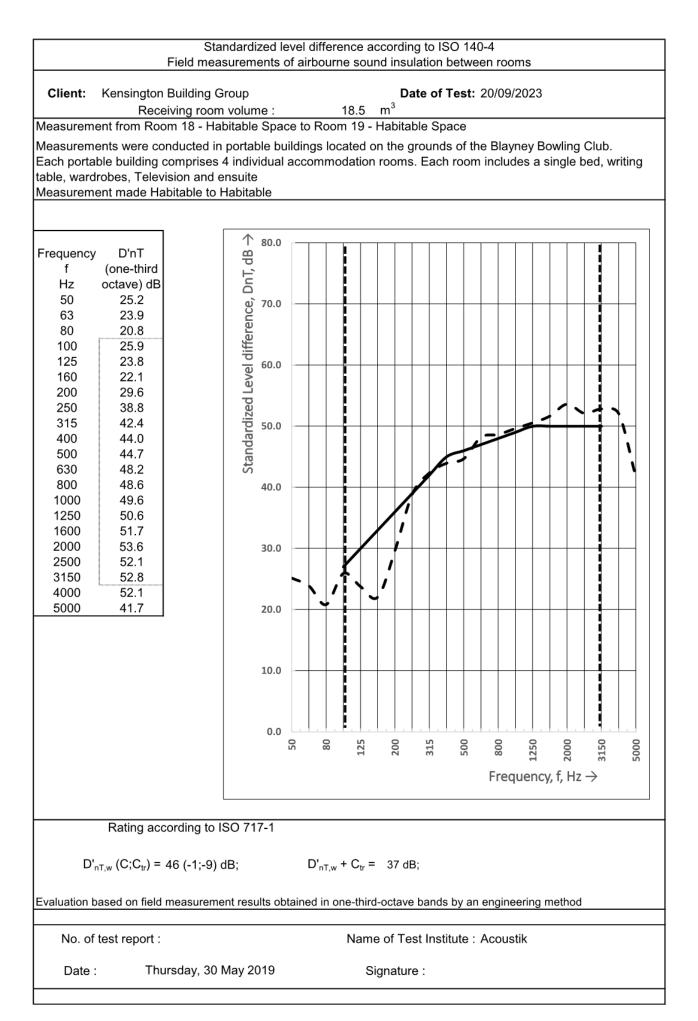


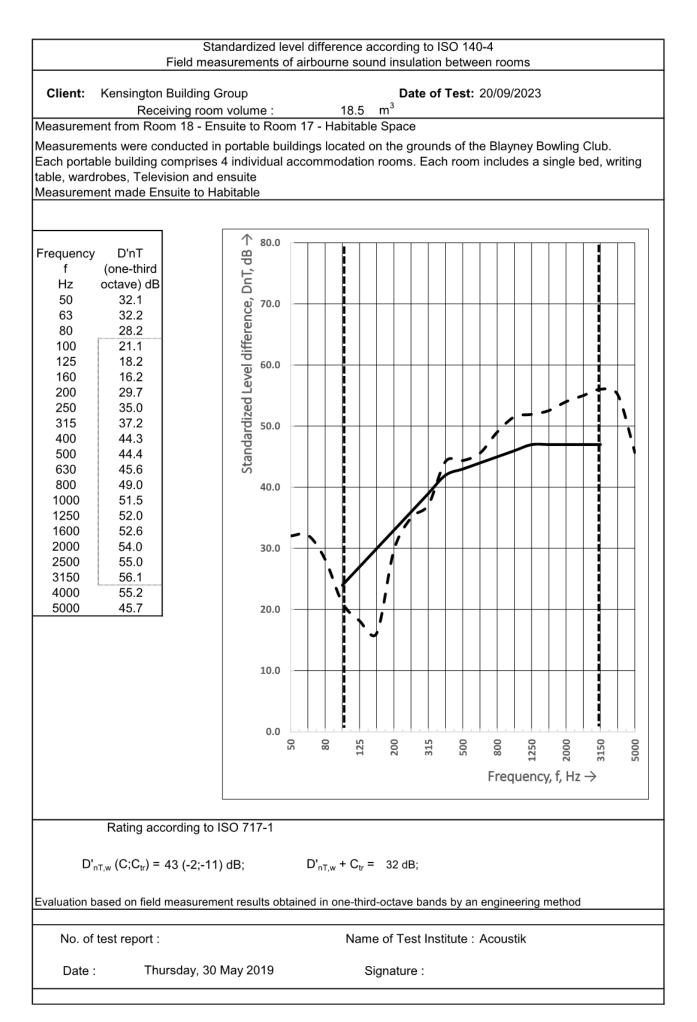


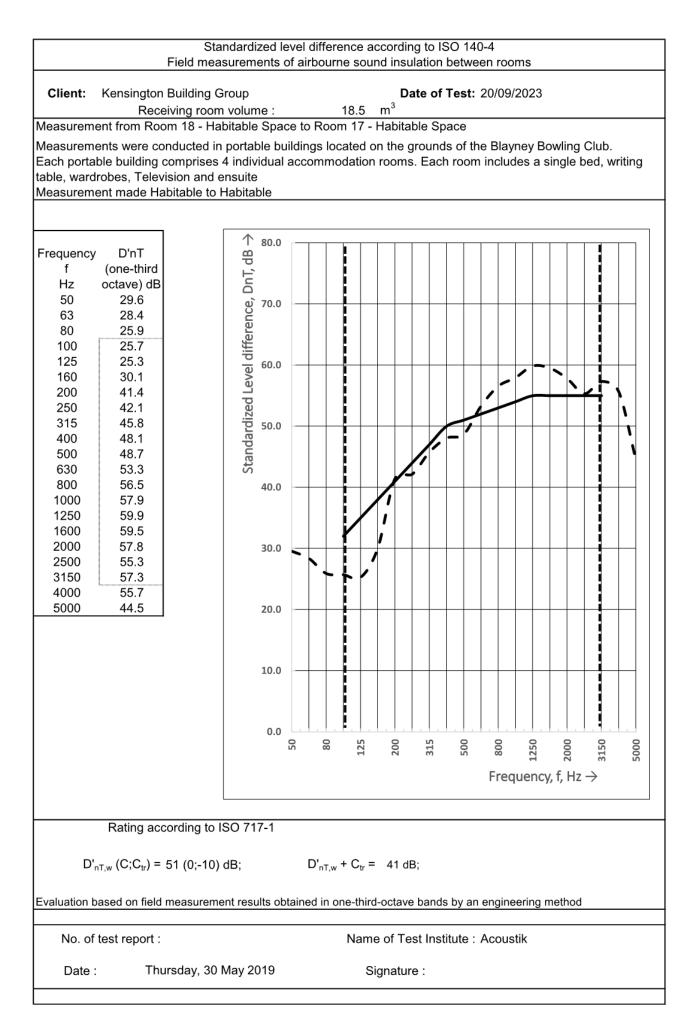












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## 62 Osman Street,



Fire Engineering Report

SYD000681-FER01

Issued to James Buckley on behalf of Rovest Holdings by Performance Based Consulting on 5 August 2024 This is Page No. 186 of the Attachments of the Extraordinary Council Meeting of Blayney Shire Council held on 18 December 2024



#### Report Information

Client	Rovest Holdings Pty Ltd
Client ABN	36 005 288 163
Title	Fire Engineering Report
Reference	SYD000681-FER01
Date	5 August 2024

#### Table T: Revision history

Revision	<b>Revision Date</b>	Details	AUTHOR	AUTHORISER	
			CHECKER	SIGNATURE & REGISTRATION #	
				and the second second	
			Paul Laughlin-Hyde		
A	10/10/2023	First Issue	Anson Lo		
			Penny Yang		
			Paul Laughlin-Hyde		
В	17/10/2023	Revised to incorporate stakeholders' comments	Penny Yang		
			Penny Yang		
		Revised to incorporate	Paul Laughlin-Hyde		
С	24/10/2023				
			Penny Yang		
			Penny Yang		
D	17/07/2024	Revised to incorporate stakeholders' comments	Anson Lo		
			Penny Yang		
		Revised to incorporate	Penny Yang		
E	24/07/2024	stakeholders' comments on	Anson Lo		
		Rev D	Penny Yang		
			Penny Yang	Parmy Verse	
F	05/08/2024	Revised to incorporate Council's comments.	Anson Lo	yang BDC 04517 2024 08.05 16:28:18+10'00'	
			Penny Yang		

For and on behalf of Performance Based Consulting Pty Ltd, this Fire Engineering Report has been reviewed by a Certifier - Fire Safety (formerly C10) in accordance with the relevant legislation.

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## Executive Summary

The 62 Osman Street, Blayney project relates to the original Blayney Bowling Club site, which as the result of an invalidated DA (DA2021/004), and is now the subject of a new DA and a Building Information Certificate (BIC) Application. The new application seeks to regularise the buildings that were installed on site under the earlier DA.

The subject of this report is the 25 portable modular buildings installed to site, originally as Class 1B, but now assessed against Class 3 for motel accommodation.

Each modular building is divided into 4 SOU's, each separated by Type 1 or Type 2 wall partitions as shown in Figure 3. Although deconstructive investigation was undertaken in September 2023, the FRL of the type 2 construction has not been verified and it cannot be confirmed to comply with the requirements of the BCA. Accordingly, this report is prepared under the assumption that it does not comply with the BCA Deem-to-Satisfy P, and appropriate safety measures and Performance Solutions are specified and built into the design.

### Performance Solutions

Table 2: Summary of performance solutions

Item	BCA DtS Provision	Description	Assessment
	Performance Requirement		
	C2D2(2), \$5C24(d)	BCA Specification S5C24(d) states that for Type C	
i.	C1P1, C1P2, E2P1	construction (required as part of BCA clause C2D2(2)), the FRL between or bounding SOUs is required to be 60/60/60 for a class 3 building. Within the proposed design, there is no verified fire rated bounding construction between Sole Occupancy Units (SOUs).	Section 5

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## 1 Introduction

#### 1.1 The Report

This project consists of 25 portable modular buildings which have not been designed or installed to be used under Class 3 classification, but are now required to achieve compliance with that standard with the intention of being used as Class 3 buildings.

As such, the modular buildings have no verified fire rated bounding construction is provided between Sole Occupancy Units (SOUs).

#### 1.2 Scope

Credwell Performance has been appointed by Rovest Holdings Pty Ltd to develop Fire Engineering Performance Solutions to the BCA DtS provisions in Table 2. This is the demonstrate the premises meets the BCA Performance Requirements.

#### 1.3 Project Stakeholders

The key project stakeholders participating in the fire engineering process are listed in Table 3.

#### Table 3: Project stakeholders

Name	Company	Role
C/O Raine Whittle (Div Group)	Rovest Holdings Pty Ltd	Client/ Project Manager
James Buckley	Premise	Architect
Mark Bakker BDC 0964	Blayney Shire Council	Certifier
Adam Southwell BDC 3305	Credwell Consulfing	BCA consultant
Penny Yang (BDC04517)	Performance Based Consulting	Fire Safety Engineer

#### 1.4 Fire Brigade Referral

The Fire Brigade (Fire Rescue NSW, FRNSW) have their own charter for the protection of life, property and environment.

Under BCA A2G2(4), all Performance Solutions must go through a briefing and reporting process which includes stakeholder consultation. FRNSW have indicated that as the responding fire authority to an incident, they are stakeholders for all fire safety related Performance Solutions. Therefore, a Fire Engineering Brief Questionnaire (FEBQ) was submitted to FRNSW as part of the performance-based design process.

The revision history of the fire brigade consultation is outlined in Table 4 below.

#### Table 4: FEBQ revision history

Ver,	Author	Organisation	Status	Date
01	Penny Yang	Credwell Performance (previous known as Performance Based Consulting)	Initial submission	8/09/2023
02	Kat Malapetsas	FRNSW	Comments not provided	22/09/2023

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The FEBQ was also provided to the design team as part of the stakeholder consultation process, generally in accordance with A2G2(4) and the AFEG. The FEB process involved the collaborative development and agreement of the proposed Performance Solution. Comments and recommendations arising from this process have been incorporated into the Fire Engineering Report.

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## 2 Reference Information

#### 2.1 Regulatory Framework

The following Legislation is applicable:

- [1] NSW Environmental Planning and Assessment Act, 1979 and subsequent amendments.
- [2] NSW Environmental Planning and Assessment Regulation, 2021 and subsequent amendments.
- [3] NSW Environmental Planning and Assessment (Development Certification and Fire Safety) Regulation, 2021 and subsequent amendments.

This FER has been prepared by Performance Based Consulting to meet the legislative requirements of the above regulations.

#### 2.2 References

- [4] Building Code of Australia (BCA) 2022, Volume 1.
- [5] Australian Fire Engineering Guidelines, Australian Building Code Board, 2021 (AFEG).

#### 2.3 Building Reference Information

The building reference information, including drawings used in producing this report are listed in Table 5.

#### Table 5: Building reference information

#	Title	Company	Doc Reference	Date / Revision
[6]	Floor Plan (B190)	Ausco Modular	14830	17.04.12 / A1
[7]	Existing site plan	Premise	220022_13BA001_A012 A004	23.05.2023 / B
[8]	Proposed site plan	Premise	220022_13BA001_A012 A005	23.05.2023 / B
[9]	Plans and elevations of existing blocks 1-23	Premise	220022_13BA001_A012 A007	23.05.2023 / B
[10]	Plans and elevations block 24	Premise	220022_13BA001_A012 A008	23.05.2023 / B
[11]	Plans and elevations block 25	Premise	220022_13BA001_A012 A009	23.05.2023 / B
[12]	DA2023/55 – 62 Osman Street Blayney	Blayney Shire Council	n/a	23.04.2024 / -
[13]	62 Osman Street, Blayney 118847 – Peer Review	Jensen Hughes	n/a	12.02.2024 / -

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## **3 Site and Occupant Characteristics**

#### 3.1 General Layout

The 62 Osman Street, Blayney project comprises the renovation of the main central building to provide shared laundry and kitchen amenity area and an office/reception area, with 25 modular buildings located around the perimeter of the site, that provide 92 single rooms, 4 double rooms and 6 disabled rooms, refer Figure 1.

The 8 accessible rooms are not onsite, and will be constructed in accordance with the BCA. The remaining buildings already installed to site, have been assessed under the presumption that the bounding construction does not comply, each modular building consists of 4 SOUs and each SOU is separated by either Type 1 or Type 2 wall partitions as shown in . The FRL of the wall partitions has not been verified and it cannot be confirmed to comply with the requirements of the BCA.

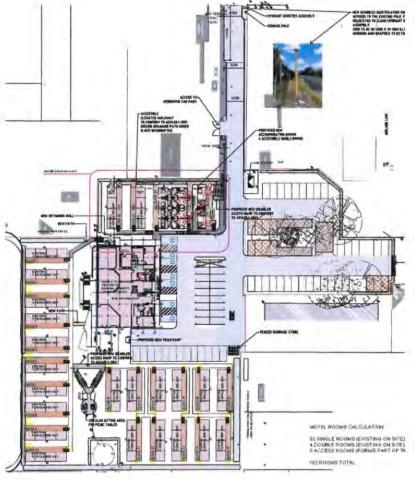


Figure 1: Site plan

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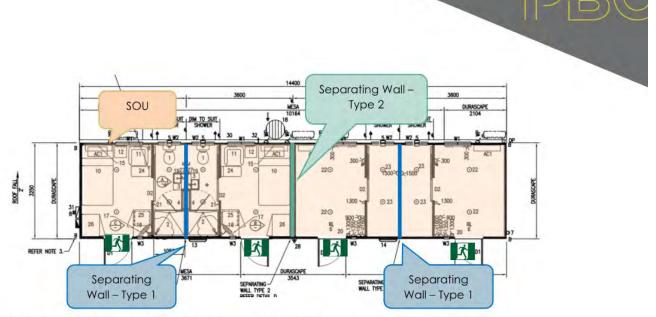


Figure 2: Modular building – typical (containing 4 SOUs)

This location of the site is shown in Figure 3.



Figure 3: Indicative location of 62 Osman Street Blayney from Google Maps

#### 3.2 BCA DtS Reference Criteria

The BCA DtS reference criteria for the building is summarised below:

#### Table 6: BCA DtS reference criteria

BCA Clause		Description of Requirements	
N/A	BCA Edition	BCA 2022	
A6G1	Classification	3	

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		PBC
Construction Type	с	
Rise in Storeys	1 (modular rooms)	
Number of Storeys Contained	1 (modular rooms)	
Effective Height	0 m	

#### 3.3 Occupant Characteristics and Population

The occupants within the SOUs will primarily be members of the public using the motel accommodation and members of staff working within the facility. Occupant characteristics are described in Table 7 and Table 8.

#### Table 7: Staff occupant characteristics

C2D2

C2D3

Schedule 1

N/A

Characteristic	Description
Distribution – age, gender, location	Staff are considered to be representative of the general population with no specific or unusual distributions applicable in gender and physical or mental attributes. The majority of occupants are expected to be between 16 and 65 years of age.
State of awareness	This occupant group is expected to be awake, conscious of their surroundings.
Familiarity – egress routes, group roles. Training	This occupant group is generally expected to be familiar with egress routes, have particular group roles and have some emergency response training.
Mobility	The majority of this occupant group is considered to have a similar capability to evacuate as the general population and do not require special assistance for evacuation. A small percentage of this group may have some disabilities that may require some level of assistance for evacuation. It is required that all staff with a long-term evacuation impairment must have a Personal Emergency Evacuation Plan prepared for them in accordance with AS 3745:2010.

#### Table 8: Visitor accupant characteristics

Characteristic	Description
Distribution – age, gender, location	Members of the public are considered to be representative of the general population with no specific or unusual distributions applicable in gender and physical or mental attributes. The majority of occupants are expected to be mining workers between 16 and 65 years of age.
State of awareness	This occupant group is expected to be awake or could be asleep, they should be generally conscious of their surroundings and sober.
Familiarity – egress routes, group roles. Training	Visitors are expected to be awake and aware of their surroundings. This occupant group is generally expected to be unfamiliar with egress routes, and to not have particular group roles or emergency response training. Leaving a SOU leads to an outdoor space, so it is assumed members of the public will find an exit point.
Mobility	This occupant group is generally expected to be unfamiliar with egress routes, are unlikely to have particular group roles and will not have emergency response training. A small percentage of this group may have some disabilities that may require some level of assistance for evacuation. If significant assistance is required, it is anticipated that the visitor will be accompanied by their relevant carer.

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# IPBC

#### 3.4 Fire Hazards

Table 9 outlines the potential fire hazards associated with the proposed works to which occupants may be exposed.

#### Table 9: Potential fire hazards to accupants associations with proposed works

Location	Ignition Sources and Fire Hazards	Mitigation Measures
SOU	Ignition Sources	Site and Building Management
	Electrical faults	General housekeeping
	Smoking	Adherence to emergency procedures
		Evacuation plans
	Fuel Load	Fire Safety Systems
	Storage	Portable fire extinguishers
	Electrical equipment	Smoke detection systems
	Furniture	Exit signage

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## 4 Fire Safety Design

#### 4.1 Overview

The fire safety measures specified within this section are mainly those essential to the key performancebased design aspect of this project, however they do not necessarily reflect all the required fire-safety measures for the whole building. New works are to comply with the DtS provisions of the BCA including the referenced Australian Standards, except where they are varied as outlined below.

#### 4.2 Fire Resistance and Compartmentation

Table 10: Fire resistance and compartmentation measures

ID	Fire Safety System	Fire Safety Measure	Owner	Origin
1	Fire Resistance and Compartmentation	The building is required to be constructed in accordance with Type C construction as per S5C24 in Specification 5 of BCA 2022, with the following exceptions: - No Fire Resistance Level (FRL) is provided to the bounding construction	Structural Engineer	PS
		between the SOUs. Note: No certified Fire Resistance Level (FRL) is provided to the bounding construction between the SOUs. The existing walls between the SOUs do not extend from the ground level and the existing condition cannot be confirmed if the fire walls extend all the way to the roofline and the external walls.		
2	Lightweight Construction	The building is provided with lightweight construction in accordance with BCA 2022 Clause C2D9 and Specification 6.	Structural Engineer	DtS

#### 4.3 Access and Egress Table 11: Access and egress

ID	Fire Safety System	Fire Safety Measure	Owner	Origin
3	Egress	Every SOU has a single exit, with two alternate paths of travel and the following features are present:	Operator	DtS
		<ul> <li>The maximum travel distance to an exit within the rooms will not exceed 3.2 m.</li> </ul>		
		<ul> <li>All exit doorways have a minimum width of 750mm.</li> </ul>		
		<ul> <li>Exiting the SOU will lead to a place of safety (open space) where occupants can safely disperse.</li> </ul>		

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#### 4.4 Fire Services Equipment Table 12: Fire fighting equipment and suppression

ID	Fire Safety System	Fire Safety Measure	Owner	Origin
4	Automatic Fire Detection and Alarm System	Each modular building must be provided with a detection system in accordance with Part E2 and AS 1670.1:2018.	Fire Services (dry)	PS
5	Automatic Sprinkler System	A sprinkler head must be installed in each of the bedrooms in accordance with FPAA101D.	Fire Services (wet)	PS
6	Portable Fire Extinguishers	Portable fire extinguishers must be provided throughout each modular building in accordance with BCA Clause E1D14.	Fire Services (dry)	DtS

## 4.5 Fire Brigade Intervention

ID	Fire Safety System	Fire Safety Measure	Owner	Origin
7	Fire Hydrant System	A hydrant system must be provided to the development in accordance with AS 2419.1:2021.	Fire Services (dry)	PS

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## 5 Performance Solution 1 – FRL construction between SOUs

#### 5.1 Performance Solution Summary

Table 14: Performance solution 1 summary

PS#	BCA DtS Clause	Solution Design		
1	C2D2(2) S5C24(d)	BCA Specification \$5C24(d) states that for Type C construction (required as part of BCA clause C2D2(2)), the FRL between or bounding SOUs is required to be 60/60/60 for a class 3 building. Within the proposed design, there is no verified fire rated bounding construction is provided between Sole Occupancy Units (SOUs).		
Perform	nance Requirements			
C1P2-	Structural stability durin Spread of fire Automatic warning for :			
BCA M	ethods of Assessment			
releva	G2(1)(a): Comply with a nt performance	A2G2(2)(a): Evidence of suitability A2G2(2)(b)(i): Verification methods provided in the NCC		
requirements A2G2(1)(b): Be at least equivalent to the DtS provisions		<ul> <li>A2G2(2)(b)(ii): Other verification methods accepted by the appropriate authority</li> <li>A2G2(2)(c): Expert judgement</li> <li>A2G2(2)(d): Comparison with the DtS provisions</li> </ul>		
Assess	ment Type	A GILLS COMPANY STORY		
🛛 Cor	mparative	🛛 Qualitative	🛛 Deterministic	
🛛 Absolute		Quantitative	Probabilistic	
Accep	tance Criteria			
	uction between SOUs de		that the lack of verified fire rated ant evacuation and fire brigade	
Assess	ment Summary			
The sol	Approximately 3.2 m t	ed in each of the bedrooms in	t E2 and AS 1670.1:2018; accordance with FPAA101D; and	

#### 5.2 Background

#### 5.2.1 Hazards

BCA Specification S5C24(d) states that for Type C construction (required as part of BCA clause C2D2(2)), the FRL between or bounding SOUs is required to be 60/60/60 for a class 3 building. This is to ensure that an appropriate type of construction is used according to a buildings purpose or classification. The major hazard associated with no verified fire rated bounding construction between sole occupancy units (SOUs) is

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to avoid fire spread, where fire can occur and to maintain a level of structural stability during a fire for occupant evacuation and fire brigade intervention.

62 Osman Street consists of 25 portable modular buildings which has been established as motel accommodation but not been designed with the intention of being used as Class 3 buildings. Each modular building is split into 4 SOUs but there is no verified fire rated bounding construction provided between SOUs.

Separating walls been SOUs have type 1 and type 2 construction, however these existing walls have not been certified, they do not extend from the ground level and the existing condition cannot be confirmed. For the purposes of this report, it is assumed that (as a worst case), the unverified fire rated construction be treated as if no FRL exists.

#### 5.3 Assessment

#### 5.3.1 Fire Splead

In the performance based design, an automatic fire detection and alarm system in accordance with Part E2 and AS 1670.1:2018 will be provided to each of the modular buildings. In the case of fire spread between SOUs, these will be evacuated and occupants will be able to move away from the effects of any fire.

A sprinkler head will also be installed in each of the bedrooms in accordance with FPAA101D, it will further eliminate the risk of fire spread from the fire origin to the common corridor and potentially affect occupant evacuation.

In addition, table S5C24a for type C construction does not require FRL of parts of external walls for class 3 buildings for distances greater than 1.5 m. The modular buildings meet this requirement and therefore the likelihood of a fire spread between modules is considered at least same as a DtS compliant design.

#### 5.3.2 Egress

The motel occupancy characteristics is expected to consist largely of occupants representative of the general population with no specific or unusual distributions. Evacuation times from each SOU is not expected to be hindered with the current design as each SOU has its own front door and leaving the SOU will lead directly to a place of safety (open space), where residents can safely disperse away from effects of fire. This means that the maximum travel distance within each SOU to a point of exit does not exceed 3.2 m.

The addition of the detection system within the modular buildings will enable early evacuation. Once occupants leave the building, they exit to the outdoor space and can move away from effects of the fire, refer to Figure 4. The detection and travel time will be low based on the small room sizes, e.g. the travel time from an SOU based on a conservative walking speed of 0.8m/s (SPFE handbook considers 1.1-1.3m/s for able bodies persons), will be 4 seconds, meaning persons will be in an outdoor space in a relatively fast time.

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#### Figure 4: Modular building (typical)

#### 5.3.3 Fire Brigade Intervention

Each modular building is a one storey standalone type C building which has a floor area of approximately 45 m<sup>2</sup>. Fire brigade personnel are expected to be able to fight a modular/SOU fire from outside. Therefore, fire Brigade intervention is not considered to be impacted by the lack of fire bounding construction between adjoining SOUs as it is not expected to adversely impact firefighting practices.

In addition, a hydrant system in accordance with AS2419.1:2021 is to be provided to the site to assist with firefighting.

#### 5.4 Conclusion

Based on the above assessment, the performance solution is acceptable. The design therefore achieves compliance with BCA Performance Requirements C1P1, C1P2 & E2P1.

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## 6 Conclusion

This FER documents the fire engineering analysis for the Performance Solutions to the BCA DtS provisions.

The Fire Engineering Analysis demonstrates that the Performance Solutions meets the Performance Requirement of the BCA.

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## 7 Validity and Limitations

a. This report is consistent with the fire safety provisions, objectives and limitations of the BCA:

- i. We have assumed or have been informed that building features not part of a Performance Solution will comply with the DtS provisions of the BCA.
- ii. This report excludes the analysis and design of fires including incendiary ones involving accelerants, explosives and/or multiple ignition sources, or acts of terrorism.
- iii. Egress and fire safety provisions for persons with disabilities including compliance with the Disability Discrimination Act (DDA) were considered to the same degree as the BCA.
- iv. Unless stated otherwise, protection of property (other than adjoining property), business interruption or losses, personal or moral obligations of the owner/occupier, reputation, environmental impacts, broader community issues, amenity or non-fire related matters in the building such as health, security, energy efficiency, and occupational health & safety are specifically excluded from this analysis.
- b. This report is not a compliance or conformance audit for any fire safety system. For example, operational checks of fire safety equipment, verification of construction techniques, fire resistance levels or the witnessing of fire drills or exercises are specifically excluded from the scope of this report.
- c. The recommendations in this report are based on information provided by others. Performance Based Consulting has not verified the accuracy and/or completeness of this information.

The recommendations, data and methodology apply to the subject building and must not be utilised for any other purpose. Any modifications or changes to the building, fire safety management system, or building usage from that described may invalidate the findings of this report necessitating a reassessment. This is Page No. 203 of the Attachments of the Extraordinary Council Meeting of Blayney Shire Council held on 18 December 2024



## HERITAGE IMPACT STATEMENT Motel 62 Osman Street, Blayney

30 May 2021

#### Kate Higgins

HERITAGE CONSULTANT BALMAIN NSW 2041 T: 02 9810 6140 M: 0406 522 492 E: khiggins@internode.on.net ABN 40 251 790 562 This is Page No. 204 of the Attachments of the Extraordinary Council Meeting of Blayney Shire Council held on 18 December 2024

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#### 1.0 INTRODUCTION

#### 1.1 Purpose

The purpose of this report is to assess the impact of the proposed motel on the heritage values of the Blayney Heritage Conservation Area and on the setting of the heritage items in the immediate vicinity of the subject site.

This report has been commissioned by David Walker, Town Planning Discipline Leader, Premise, on behalf of Rovost Holdings Pty. Ltd.

The subject site:

- is not listed as a heritage item on the State Heritage Register established by the NSW Heritage Act 1977;
- is not listed as a heritage item in Schedule 5 of the *Blayney Local Environmental Plan* 2012;
- is located within the immediate vicinity of a number of heritage items; and,
- is located within the Blayney Heritage Conservation Area.

#### 1.2 The Location of the Subject Site

The property address is 62 Osman Street, Blayney.



Figure 1: Locality map Source: SIX Maps

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#### 1.3 Methodology

This report has been prepared with reference to the Heritage NSW guidelines for the preparation of statements of heritage impact, *Statements of Heritage Impact*, NSW Heritage Office and Department of Urban Affairs & Planning, 1996, revised 2002.

This report has been prepared with consideration of the principles established by *The Burra Charter: The Australia ICOMOS Charter for Places of Cultural Significance 2013*, Australia ICOMOS.

A site visit was made in September 2020. Unless otherwise stated, the photographs in this report were taken by the author on this visit.

The scope of the work excludes an assessment of significance.

This report does not include an assessment of the potential impacts on archaeological resources, nor on Aboriginal heritage values.

Consideration of the subdivision of the existing site and the impact of the proposed future serviced apartments has been excluded.

#### 1.4 Author

This report has been prepared by Kate Higgins, B.Sc (Architecture), B. Architecture, Master Heritage Conservation.

#### 1.5 Important Information

This report has been prepared for the sole purpose of the matters described in Section 1.1 of this report. The report should not be used for any other purposes, or by others, except as permitted under the Copyright Act.

An overview of the legislative context, and responses, is provided as background context only and not for the purposes of legal or planning advice.

In preparing this document it has been assumed that information provided by the client was up to date, complete, and accurate.

Existing significance assessments, where available, being relied upon. An assessment of the significance of the property has not been undertaken, nor an assessment of potential impacts of the proposed work on any archaeological or Aboriginal values of the place. An assessment of the significance of heritage items in the vicinity of the site, nor of the Blayney Conservation Area has also not been undertaken.

Property or application records for the subject site have not been searched.

This report is based on a consideration of heritage matters only and has not considered other planning matters, or matters of compliance with any building codes or Australian standards, or the requirements of any authority.

#### 2.0 THE SUBJECT SITE

The subject site is located in Blayney town centre, its main frontage being to Osman Street. An access handle driveway provides vehicular access from Church Street. The site is currently occupied by a two storey club building (the former Blayney Bowling Club building), bowling greens and a carpark. The rear boundaries of the sites of a number of

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heritage items adjoin the boundaries of the subject site (other than the street boundary of the subject site).

The Blayney Bowling Club building is a modern building with little architectural merit, limited streetscape presence, and of negligible heritage value.

There are a number of attractive large trees at the rear of the site which contribute to the setting of the nearby heritage items.



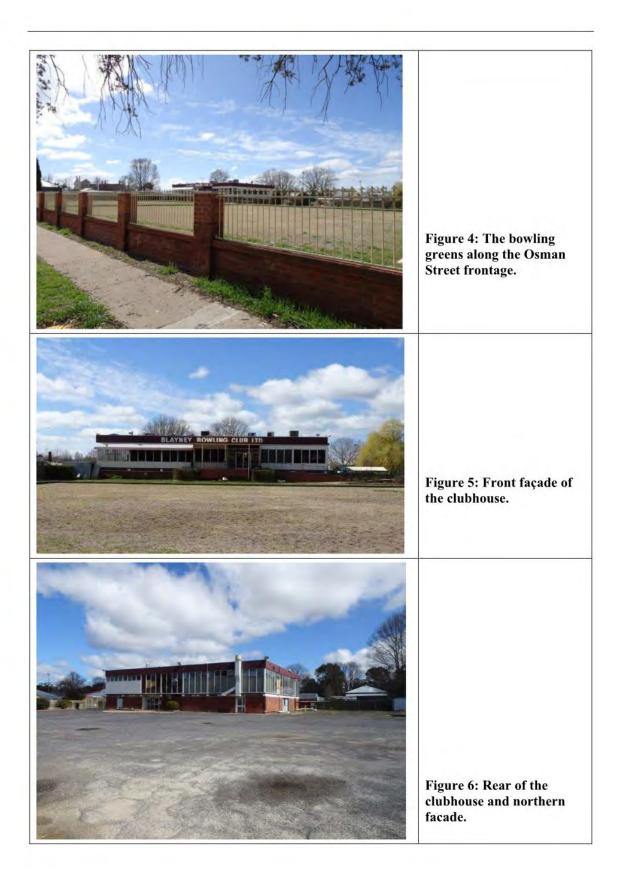
Figure 2: Aerial photograph of the subject site (the boundary of site is dotted). The existing bowling greens and club house are evident. Source: NSW ePlanning Spatial Viewer



Figure 3: Osman Street frontage. The club building is evident in the background. The bowling greens are located directly behind the fence.

#### Blayney Motel - Heritage Impact Statement

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Blayney Motel - Heritage Impact Statement

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#### 3.0 PLANNING FRAMEWORK

#### 3.1 Blayney Local Environmental Plan 2012

The subject site (the former Blayney Bowling Club):

- **is not** listed as a heritage item in Schedule 5 of the *Blayney Local Environmental Plan* 2012;
- is located within the immediate vicinity of a number of heritage items;
- is located within the Blayney Heritage Conservation Area.

The heritage items located within the immediate vicinity of the subject site are listed below.

Item no.	Description and address		
22	Club House Hotel, 63 Adelaide Street		
23	National Australia Bank (former CBC Bank and stables), 69 Adelaide Street		
24	St James' Catholic Church (former Town Hall), 71 Adelaide Street		
26	34 Church Street <sup>1</sup>		
28	Surgery and residence, 79 Adelaide Street		
51	House, 22 Church Street		
53	House, 24 Church Street		
55	Two storey house and cottage, 26-28 Church Street		
88	Osman Street street trees		
105	Old growth Elm trees and Hoop Pine trees (Blayney High School), 1 Water Street		
109	Residence (former Railway Institute of the Arts), 39 Water Street		

*Blayney Local Environmental Plan 2012*, sets out the objectives for heritage conservation in clause 5.10(1), which states:

The objectives of this clause are as follows:

(a) to conserve the environmental heritage of Blayney,

(b) to conserve the heritage significance of heritage items and heritage conservation areas, including associated fabric, settings and views,

(c) to conserve archaeological sites,

(d) to conserve Aboriginal objects and Aboriginal places of heritage significance.

The requirements for an assessment of the effect of development on the heritage values of a place are set out in Clause 5.10(4), which states:

<sup>&</sup>lt;sup>1</sup> This property is shaded and numbered as a heritage item on the BLEP2012 Heritage Map, however is not listed in the Heritage Schedule of BLEP2012. Also, the NSW State Heritage Inventory database does not have a heritage inventory sheet for this property.

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The consent authority must, before granting consent under this clause in respect of a heritage item or heritage conservation area, consider the effect of the proposed development on the heritage significance of the item or area concerned.

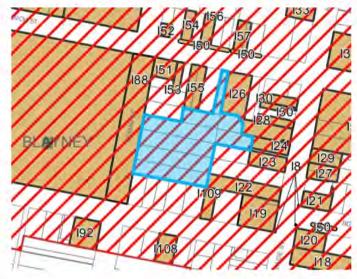


Figure 13: Extract of the Heritage Map of Blayney Local Environmental Plan 2012 showing the heritage items in the vicinity of the subject site and the heritage conservation area (heritage items are shaded brown and Heritage Conservation Areas are hatched red). The subject site is outlined and shaded blue. Source: NSW Legislation website,

#### 4.0 HERITAGE SIGNIFICANCE

#### 4.1 Heritage items in the vicinity of the subject site

The heritage significance of the following heritage items located within the vicinity of the subject site can be found in the NSW State Heritage Inventory database:<sup>2</sup>

- National Australia Bank (former CBC Bank and stables), 69 Adelaide Street
- Surgery and residence, 79 Adelaide Street
- Two storey house and cottage, 26-28 Church Street
- Old growth Elm trees and Hoop Pine trees (Blayney High School), 1 Water Street

The heritage significance of the other heritage items is not readily available.

Nevertheless, an assessment of the impact of the proposed development on the setting of these items is made.

#### 4.2 Blayney Heritage Conservation Area

Based on information available on Council's website and in the NSW State Heritage Inventory database, an explanation of the heritage significance of the Blayney Heritage Conservation Area has not been established by council.<sup>3</sup> Nevertheless, an assessment of the impact of the proposed development on the character of the existing streetscapes of the conservation area is made.

<sup>&</sup>lt;sup>2</sup> https://www.heritage.nsw.gov.au/search-for-heritage/search-for-nsw-heritage/

<sup>&</sup>lt;sup>3</sup> Several attempts were made to view the *Community Based Heritage Review* (2010) document on Council's website, however it was not practicable (or even possible) to read the document. The document was able to be found on the Heritage NSW library, however not the inventory sheets, which may have included a sheet for the Blayney Conservation Area. An earlier heritage study, *Blayney Heritage Study Final Report* (1991), was also found in the Heritage NSW library. This earlier study did not recommend a conservation area for Blayney.

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#### 5.0 PROPOSED WORK

#### 5.1 Scope

It is proposed to erect a motel on the site of the former Blayney Bowling Club.

There are two planned development stages:

- Stage 1 will focus on meeting the needs of the influx of a construction workforce;
- Stage 2 will occur when the motel reverts to 'normal' operation and will include the removal of some modules and an increase in the number of double rooms.

The proposed works also include: a new sign affixed to the existing sign pole near the Church Street entry; a new glazed entry to the existing building; and, internal works to the existing building.

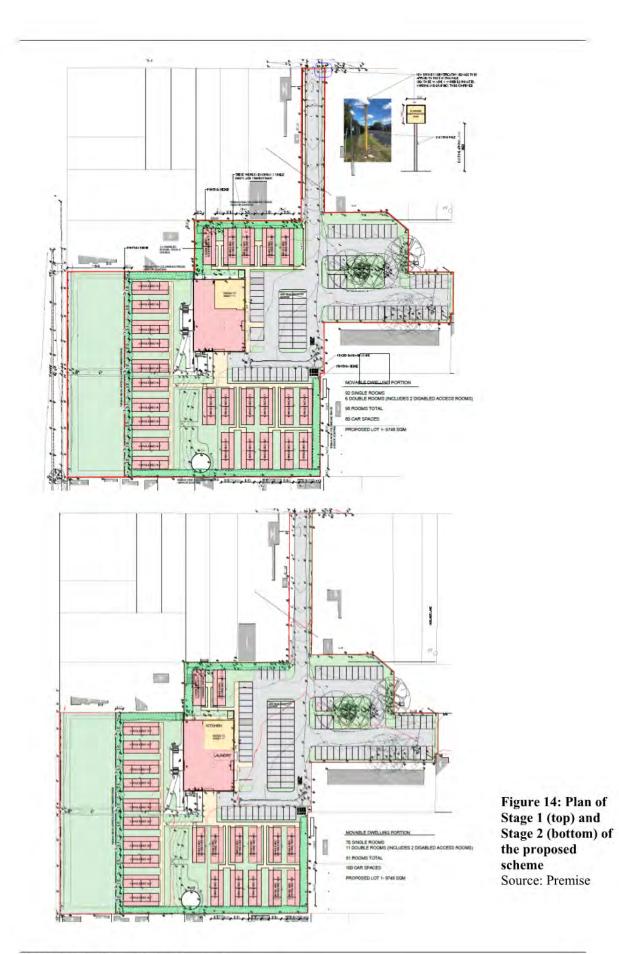
A future stage, which is not part of the current application, is for the construction of serviced apartments along the Osman Street frontage.

#### 5.2 Documentation

The following documents were reviewed for the preparation of this heritage impact statement:

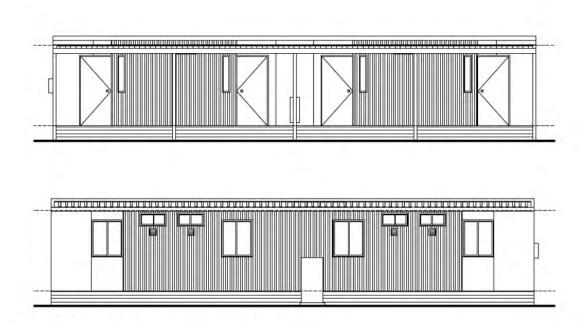
- *Proposed Site Plan Stage 01*, Sheet A005 of Set 01J, Issue J dated 21 May 2021 prepared by Premise.
- *Proposed Site Plan Stage 02*, Sheet A006 of Set 01J, Issue J dated 21 May 2021 prepared by Premise.
- *Typical 4 Single Accommodation Building*, Sheet A008 of Set 01J, Issue J dated 21 May 2021.
- *Typical 2 Single 1 Double Accommodation Building,* Sheet A009 of Set 01J, Issue J dated 21 May 2021.
- *Typical Accessible Accommodation Building,* Sheet A010 of Set 01J, Issue J dated 21 May 2021.
- *Existing Building Office and Laundry Building,* Sheet A011 of Set 01J, Issue J dated 21 May 2021.

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Blayney Motel - Heritage Impact Statement

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**Figure 15: Typical elevations of the motel room blocks.** Source: Premise



Figure 16: Photograph of the same units proposed for the subject site which have been erected at a different location. Source: Premise

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#### 6.0 ASSESSMENT OF THE IMPACT OF THE PROPOSED WORK

The proposed work is assessed below with regard to its impact on the heritage significance of the place, and with regard to the NSW Heritage Division guidelines for the preparation of statements of heritage impact.

#### 6.1 Impact on Heritage Significance

The proposed development is acceptable with regard to its impact on the visual setting of the heritage items located within the vicinity of the subject site because:

- the new buildings are set well away from the nearby heritage items;
- the new buildings are low scale, and subject to an appropriate colour scheme, visually recessive;
- there will be no impact on views to the heritage items;
- some of the large trees at the rear of the site, which contribute to the setting of the nearby heritage items, will be retained, and there is the opportunity to retain other of the trees;
- the rear yards of the heritage items nearby adjoin the subject site, the rear yards being of less significance than the building described in the Heritage Schedule;
- the rear yards help to provide physical separation from the proposed new buildings to the existing buildings listed in the Heritage Schedule, and existing tree canopies in backyards will help to screen (visually separate) the proposed new buildings;
- the proposed new buildings can be screened by trees where there is a potential impact on the setting of heritage items in the vicinity;
- the proposed new sign is modest in size, is related to the proposed motel use, and replaces a previous sign;
- the proposed change to the northern façade of the existing building is a minor change that will have negligible visibility outside the site, and is in keeping with the architectural character of the existing building.

The proposed works are acceptable with regard to their impact on the character of the Blayney Conservation Area (HCA) because:

- the proposed new buildings, subject to some screen planting, will have limited visibility from the public domain with the result that there will be little impact on the aesthetic qualities of the surrounding streetscapes; and,
- the low scale of the proposed new buildings will limit their visual impact subject to an appropriate colour scheme;
- the proposed new sign is modest in size, is related to the proposed motel use, and replaces a previous sign; and,
- the proposed change to the northern façade of the existing building is a minor change that will have negligible visibility outside the site, and is in keeping with the architectural character of the existing building.

#### 6.2 Heritage Division Statement of Heritage Impact Guidelines

The NSW Heritage Division guidelines for the preparation of statements of heritage impact: *Statements of Heritage Impact*, has a number of template questions. Relevant questions are responded to in the table below.

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General question	Response
The following aspects of the proposal respect or enhance the heritage	• The proposed development is low scale and will have limited visibility from the street – subject to screen planting and a fence.
significance of the item or conservation area for	• The proposed new buildings are set well away from the buildings fronting Adelaide Street and Church Street.
the following reasons:	• Some of the existing large trees at the rear of the site are proposed to be retained. (This area of the site is proposed to be a carpark.)
	• Screen planting has been provided to help screen the proposed new buildings from Osman Street, thereby protecting the character of the HCA and the setting of the nearby heritage items.
	• The proposed new sign is located on the existing sign pole and is modest in size.
	• The proposed change to the norther façade of the existing building will have negligible, if any visibility from outside the site.
	Hedge planting has been provided along some boundaries in order to help screen the proposed new motel units and thus help to protect the setting of a number of heritage items adjacent to the subjects site (the two storey house and cottage at 26-28 Church Street, the Club House Hotel at 63 Adelaide Street and the former Railway Institute of the Arts at 39 Water Street).
	A lapped timber paling fence has been used instead of a Colorbond fence along the proposed western boundary of the proposed motel site.
The following aspects of the proposal could detrimentally impact on heritage significance. The reasons are explained as well as the measures to be taken to minimise	The form of the proposed new buildings is neither consistent nor sympathetic with that of the buildings that comprise those of the HCA and the streetscapes that form the setting of the heritage items, however screening of the buildings with planting (and fences), as well as an appropriate colour scheme will make their visual impact acceptable. A group of buildings of the proposed development will be
impacts:	close to the rear boundary of the following heritage items:
	<ul><li>two storey house and cottage at 26-28 Church Street,</li><li>Club House Hotel, 63 Adelaide Street</li></ul>
	• Residence (former Railway Institute of the Arts), 39 Water Street
	The proposed buildings should be screened by planting along the boundaries with the above properties. This may require the proposed motel buildings to be set back slightly further from the site boundary.

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	A row of buildings of the proposed development will be set along the front of existing club house, such that they would be readily visible from Osman Street. A timber paling fence and row of screen planting will help to ameliorate the visual impact of these proposed buildings. The loss of large existing trees in the area of the proposed carpark will adversely affect the setting of nearby heritage items as the large canopies provide and attractive backdrop to these buildings, and will adversely affect the character of the HCA.
The following sympathetic solutions have been considered and discounted for the following reasons:	It is recommended that the parking layout be adjusted to allow retention of all the trees in the area of the proposed carpark.

Specific question for new development adjacent to a heritage item	Response
How is the impact of the new development on the heritage significance of the item or area to be minimised?	<ul> <li>Recessive colour scheme. (A darker colour.)</li> <li>Screen planting to the fence at the eastern side of the units visible from Osman Street.</li> <li>Re-use of the existing sign pole.</li> </ul>
Why is the new development required to be adjacent to a heritage item?	The subject site is appropriately located for the proposed development, and has a suitable topography.
How does the curtilage allowed around the heritage item contribute to the retention of its heritage significance?	The lot boundary curtilage of the existing heritage items will be retained.
	The visual curtilage of the heritage items will be somewhat affected. Fencing, screen planting and an appropriate colour scheme is recommended to ameliorate the impact.
How does the new development affect views to, and from, the heritage item? What has been done to minimise negative effects?	The proposed development will not affect views to any of the heritage items located within the vicinity of the subject site.
Is the development sited on any known, or potentially significant archaeological deposits? If so, have alternative sites been considered? Why were they rejected?	Not researched. However the site has been disturbed by the bowling complex.

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Specific question for new development adjacent to a heritage item	Response
Is the new development sympathetic to the heritage item? In what way (e.g. form, siting, proportions, design)?	The low height of the proposed new buildings is sympathetic.
Will the additions visually dominate the heritage item? How has this been minimised?	N/A
Will the public, and users of the item, still be able to view and appreciate its significance?	N/A

#### 6.2 Blayney Shire Development Control Plan

Section H4 of *Blayney Shire Development Control Plan 2017* sets out controls for development in the vicinity of heritage items.

- The proposal complies with the controls in H4.1 as the proposed new buildings will have a low height, will not obstruct views to the heritage items, and subject to an appropriate colour scheme and screen planting (and fencing), will minimise the impact on the visual setting of the heritage items located within the vicinity of the subject site. The form of the proposed new buildings does not respond to the forms of buildings in the surrounding streetscapes as required by the DCP control, however this is considered acceptable as the proposed new buildings, subject to adoption of the recommendations below, will have a limited impact on the visual curtilage of the nearby heritage items.
- In order to comply with controls in H4.2, the colour scheme of the proposed new buildings should be a mid to dark colour in order to reduce the visual impact of the proposed buildings. The proposed external materials of the proposed new buildings, is not consistent with those of the surrounding heritage buildings, however the materials are considered acceptable, subject to adoption of the recommendations below, as the proposed buildings would then have limited impact on the visual curtilage of the nearby heritage items.

Section H5 of *Blayney Shire Development Control Plan 2017* sets out controls for development within Heritage Conservation Areas.

• For reasons discussed previously, the proposal will have an acceptable impact on the character of the Blayney Heritage Conservation Area, subject to the recommendations below.

#### 7.0 CONCLUSION

Heritage conservation is not about preserving heritage significant places without allowing change. Rather it is about understanding what is significant about a place before deciding on appropriate change. The impact of the proposed new motel has been considered with regard to the setting of the heritage items in the immediate vicinity of the subject site, and with regard to the character of the Blayney Heritage Conservation Area. After a careful assessment it is concluded that, subject to the recommendations below, the proposed works will have a limited and acceptable impact on the heritage significance, and would satisfy the heritage provisions of *Blayney Local Environmental Plan 2012*.

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#### 8.0 RECOMMENDATIONS

- 1. The exterior colour scheme for the proposed new buildings should be visually recessive. Light colours are not recommended. A colour scheme with strong contrasts is not appropriate.
- 2. Screen planting should be have a mature height similar to the height of the proposed buildings. (The plants must not have a mature height less than 500mm below the maximum height for the proposed buildings.) The screen planting may require buildings to be slightly relocated. Trees should be considered as their canopies provide better visual screening than a hedge which is lower.
- 3. The parking layout should be adjusted in order to maximize the retention of existing trees. All trees should preferably be retained. (See Figure 17.)
- 4. The trees must be protected from harm during the works, and the proposed development must not adversely affect the health and vitality of these trees. The advice of a suitably qualified arborist must be sought if necessary.
- 5. Screen planting could be provided along the northern side of the carpark (see red arrow in illustration below).

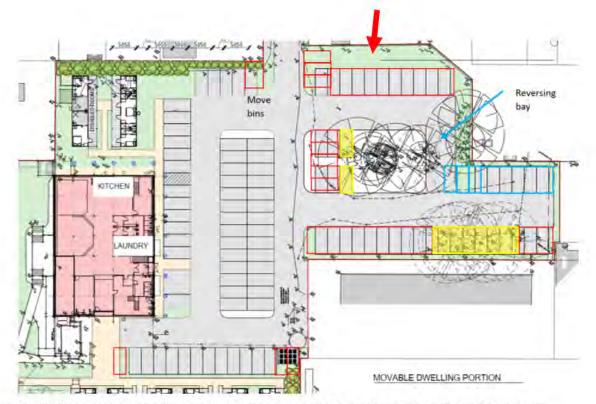
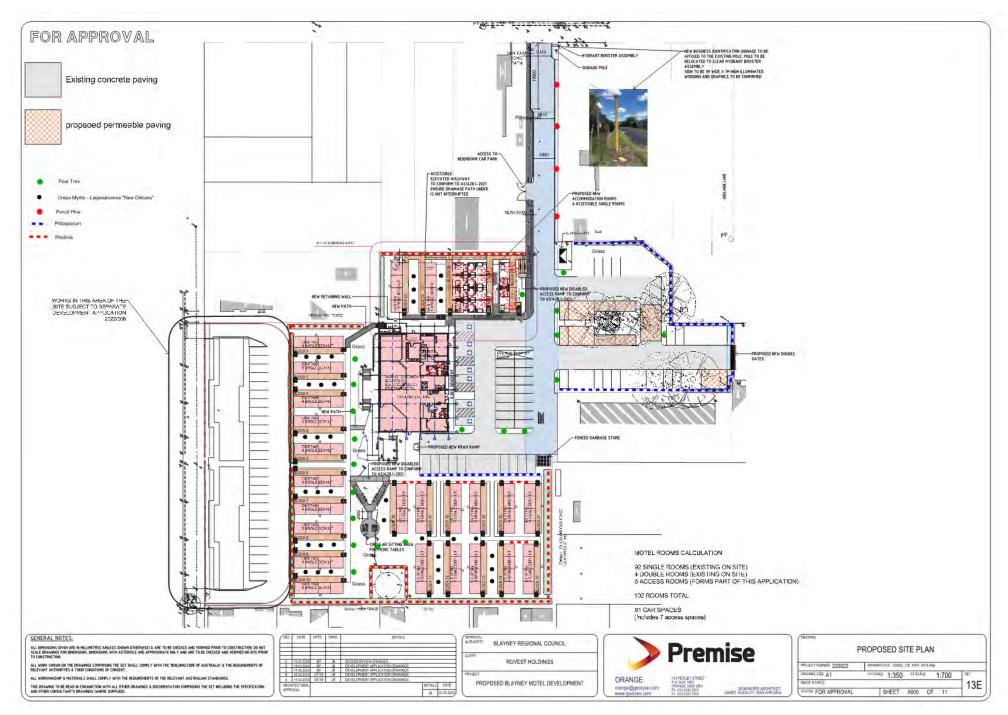


Figure 17: Suggested minor changes to the carpark in order that existing trees can be retained. The yellow area are car spaces proposed to be deleted. It would require 10 car parking spaces to use a reversing bay at the end of their aisle. The red sand blue shapes are slightly relocated space proposed and proposed new car spaces (and the relocated bin area). Source: Annotations by author to drawing prepared by Premise

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# ROVEST HOLDINGS PTY LTD AND T.I HOSPITALITY

# **Blayney Motel**

## PLAN OF MANAGEMENT

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BLAYNEY MOTEL PLAN OF MANAGEMENT



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DOCUMENT	AUTHORISATION				
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В	17/02/22	For client issue	For client issue		
с	22/2/22	For issue			
D	11/05/22	Updated to add	ress Council cor	nments	
E	18/05/22	Update to noise curfew			
F	13/01/23	Update to reflect approved stage 3			
G	14/04/23	Draft – Update to reflect history of site development and staging.			
н	27/06/23	Updated draft to address Council RFI		6 L	
Prepared By		Reviewed By		Authorised By	
Hugh Shackcloth- Bertinetti	Appletto	Chloe Bigg	ap	David Walker	Twike

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BLAYNEY MOTEL PLAN OF MANAGEMENT



## ENDORSEMENT

Rovest Holdings senior management and T.I Hospitality site management endorse this Plan of Management (PoM) to confirm their understanding of the plan's management strategies and procedures, and to demonstrate commitment to the implementation of the PoM. Signatories are provided below.

Date	Name	Position	Signature
	Brenden Rouse	Director	
	Tom Issa	CEO (T.I Hospitality)	
	Paul Kuipers	COO (T.I Hospitality)	A

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BLAYNEY MOTEL PLAN OF MANAGEMENT



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## 1. INTRODUCTION

The Blayney Motel is located within the Blayney Shire Council (BSC) Local Government Area (LGA) at 62 Osman Street, Blayney. The motel is within close proximity (260 m) to local businesses along Adelaide Street which forms part of the Mid-Western Highway. **Figure 1** and **Figure 2** depict the subject site of the motel and its locality.

The motel is owned by Rovest Holdings Pty Ltd and operated by T.I Hospitality.

This PoM details the management of operations at Blayney Motel and has been prepared with consideration of a number of matters raised following the original lodgement of the application. An overview of the history of the development application and approvals that currently apply to the site is provided in **Section 1.1** below.

The motel development is planned with the following stages.

- Stage 1 which includes:
  - Site preparation works including the installation and regularisation of existing services (i.e electrical and sewer connections).
  - Construction and installation of modular motel accommodation buildings to provide a total of 102 motel rooms.
  - The development of 84 at grade parking spaces with access and egress via an existing driveway from Church Street to the north of the development site.
  - The development of a portion of the former bowling club building to provide a motel reception area, an on-site laundry and kitchen amenity areas together with a site office.
  - The erection of signage along the Church Street frontage to advertise motel accommodation.
- Stage 3 which includes the erection of motel accommodation and associated signage in the western
  portion of the site, including:
  - The construction of an additional 20 motel rooms with vehicular access to and from Osman Street
  - 26 on-site parking spaces.
- Stage 4 which includes change in use of the former bowling club building to an ancillary restaurant, bar, lounge and guest recreation.

Stage 1 of the motel is accessible via an existing driveway that extends northwards to connect to Adelaide Lane. Adelaide Lane intersects with Church Street along the site's northern frontage.

Stage 3 of the motel is accessible via dedicated new vehicular ingress and egress from Osman Street, together with pedestrian access.

Layouts for each stage are detailed in Figure 3 through Figure 5.

As further detailed in **Section 1.1**, Stage 3 and 4 of the motel development have been approved. This current draft of the PoM supports a current development application to regularise Stage 1 of the development. The application has been lodged with Council.

### 1.1 History of site development

The recent history of the development of the site is summarised in **Table 1** and provides relevant context for this PoM. The following components of the development are currently approved.

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BLAYNEY MOTEL PLAN OF MANAGEMENT



- The change in use of the former bowling club building to an ancillary restaurant, bar, lounge and guest recreation, approved via BSC DA 99/2022.
- The erection of motel accommodation and associated signage in the western portion of the site, approved via BSC DA 2022/0006.

DA 2021/0004 previously provided approval for the consolidation and re-subdivision of site into two lots together with the erection of motel accommodation and signage in the eastern portion of the site. Two (2) modifications of the consent were lodged with and approved by BSC. Mod 1 provided for the deletion of the subdivision component and Mod 2 provided for amendments to condition 102. A construction certificate was issued by BSC for the approved works to the main building and addressing installation of services.

A determination by the NSW Land and Environment Court (LEC), however, has invalidated DA 2021/004. At the time of writing this PoM a separate application is being prepared for Stage 1 of the development to regularise the use of the land. A Building Information Certificate (BIC) will be separately lodged to address compliance with the Building Code of Australia.

Document Ref	Subject and Date	Development Description
DA 2021/0004	DA Approved, 10 October 2021	Consolidation and re-subdivision of the site to create two lots, minor fit-out of the existing main building and erection of motel accommodation and signage in the eastern portion of the site accommodating 98 motel rooms at Stage 1 and 81 rooms at Stage 2. The original DA was subject to two subsequent modifications described below.
DA 2021/0004/1	MOD 1 Approved, 10 May 2022	This modification deleted the subdivision component of the approved development noting that all of the host lots were to be consolidated together into a single lot.
DA 2021/0004/2	MOD 2 Approved, 10 May 2022	This modification was prepared following changes to condition 102 in relation to recommendations made by NSW Police.
DA 2022/0006	DA Approved, 2 September 2022	<ul> <li>Erection of motel accommodation and associated signage in the western portion of the site including:</li> <li>20 motel rooms with vehicular access to and from Osman Street and</li> <li>26 on-site parking spaces.</li> </ul>
DA 99/2022	DA Approved, 19 December 2022	Change in use of the former bowling club building to an ancillary restaurant, bar, lounge and guest recreation.

#### Table 1 - History of Development Application

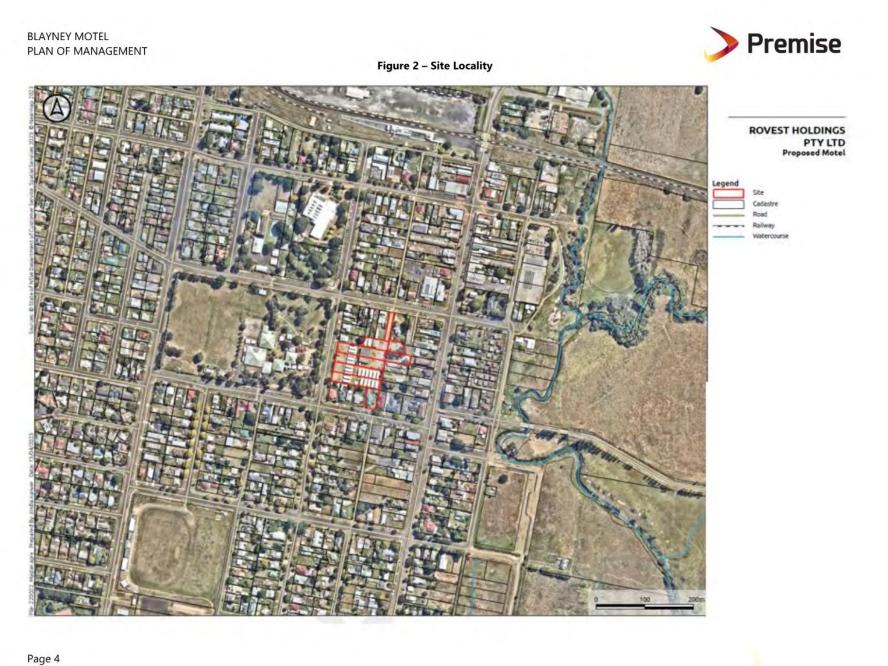
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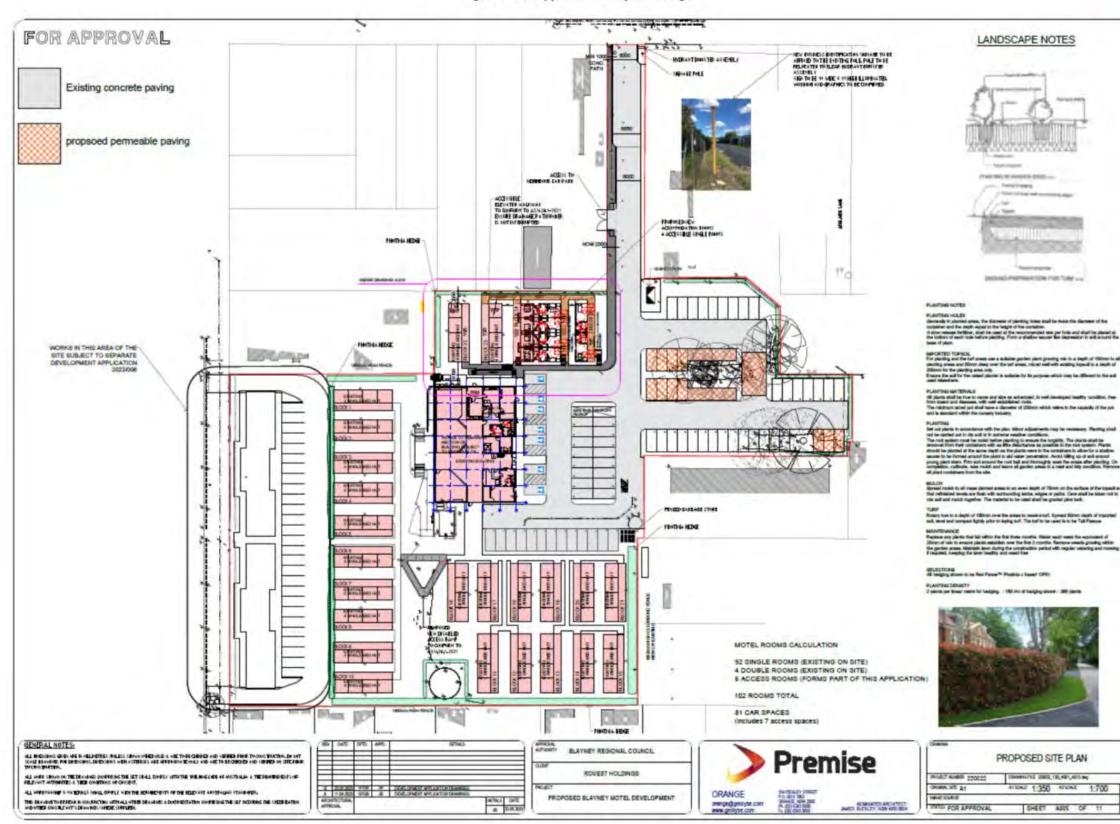


Figure 3 –For Approval Development Stage 1



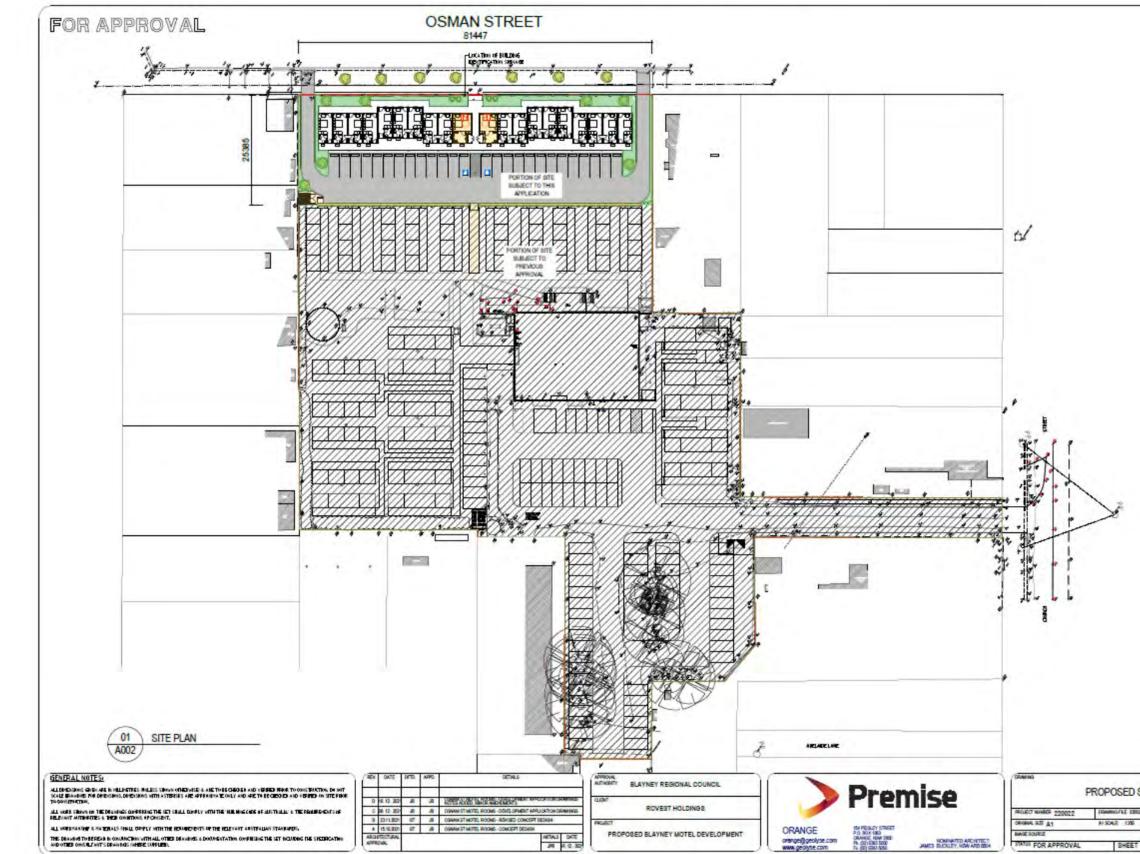




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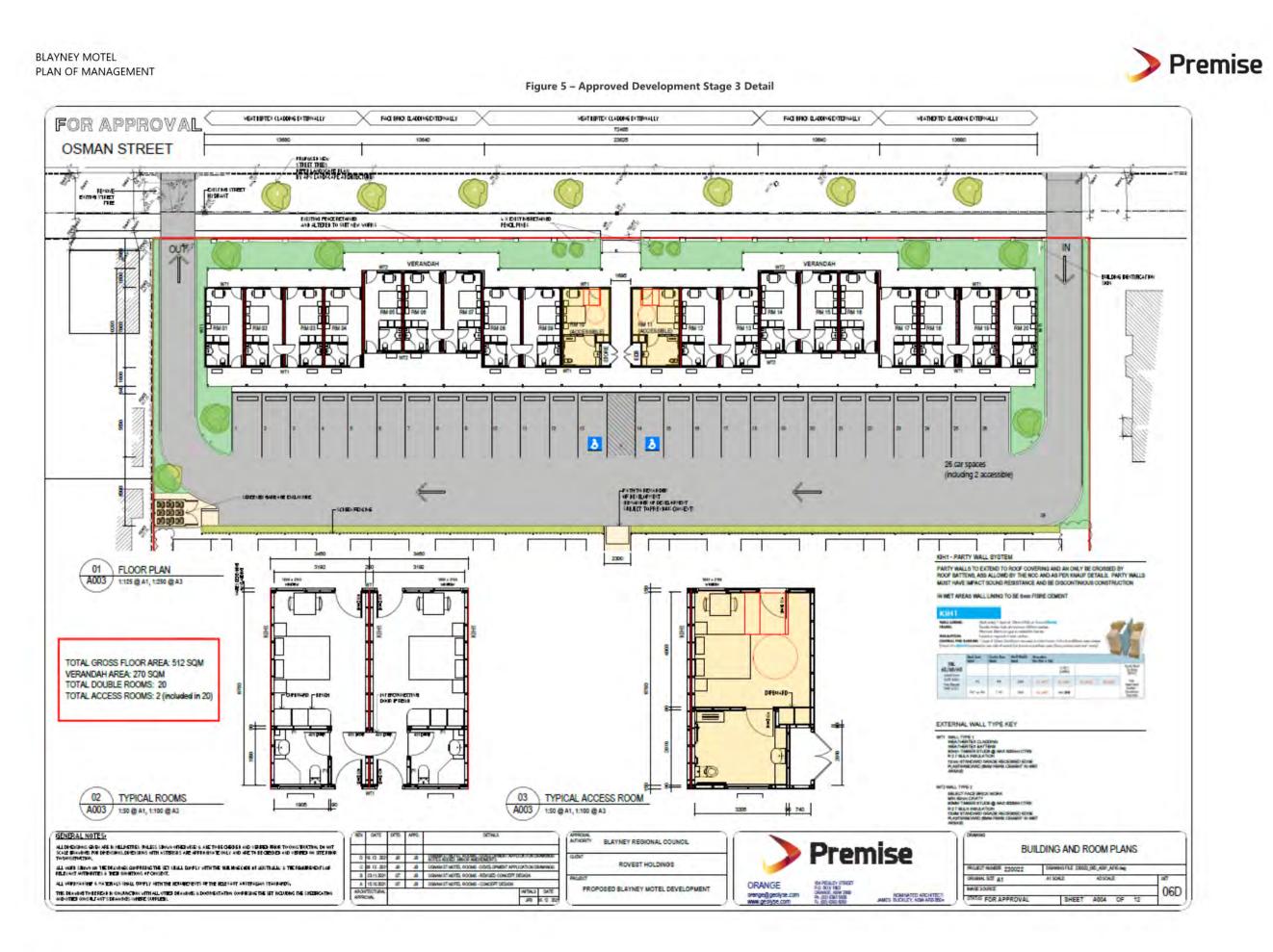
Figure 4 – Approved Development Stage 3 Context



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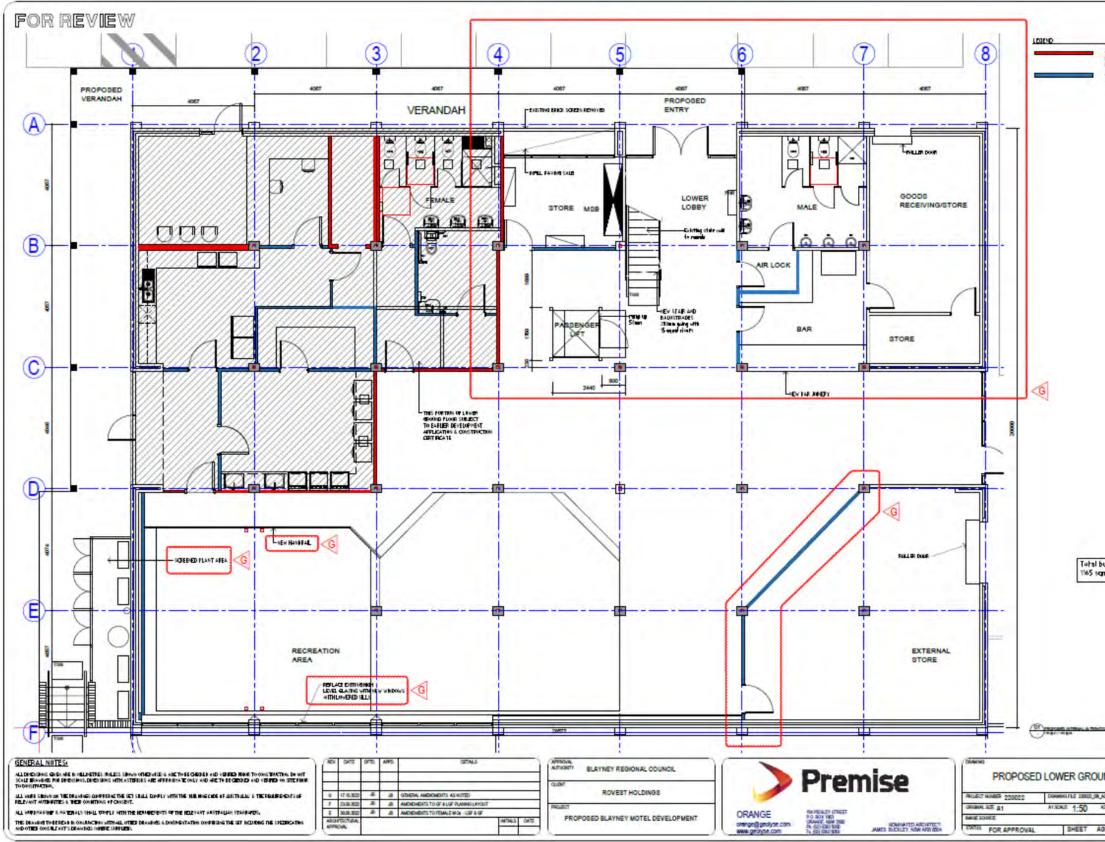




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Figure 6 – Approved Stage 4 consent lower ground floor



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PROPOSED BLAYNEY MOTEL DEVELOPMENT

Figure 7 – Approved Stage 4 consent ground floor

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FOR APPROVAL

AMES BUDILEY, NOW ARD BEA



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BLAYNEY MOTEL PLAN OF MANAGEMENT



### 1.2 Scope

This PoM was originally prepared to support development application DA 2021/0004. It has been subsequently updated a number of times to reflect the approval of DA 2021/0004 (now void), the preparation and approval of DA2022/0006 and the preparation and approval of DA 2022/0099.

Specific consent conditions for noting in the preparation of the PoM are condition 21 of 2021/DA0004 and Condition 14 of 2022/DA0006, as well as other relevant consent conditions.

DAs 2022/0006 and 2022/0099 are approved and requires the preparation of a PoM for the motel development.

As noted in **Section 1.1**, a determination by the NSW LEC has invalidated DA 2021/0004 and this PoM supports a new application to regularise Stage 1 of the motel development. As a result, no current conditions of approval currently apply to Stage 1 of the proposed motel development.

While noting that the approval granted by DA0004/2021 has been invalidated this PoM has used conditions previously included in 2021/DA0004 to inform the scope of operating requirements. Conditions relating to 2021/DA0004 will need to be updated in the event that the new development application for Stage 1 is approved.

 Table 2 below identifies relevant requirements of DA 2021/0004, DA 2022/0006 and DA 2022/0099, and provides the section of the PoM where each requirement is addressed.

CoA	Requirement	Reference
DA 202	/0004 (Invalidated -Updated COA to be provided)	
21	<b>Plan of Management</b> Prior to works commencing, a Plan of Management must be submitted to and approved by the Blayney Shire Council Department of Planning and Environmental Services and the Department of Infrastructure Services. The Plan of Management must be based on the following objectives:	This PoM
	• Ensure the premises are managed to an acceptable standard and to ensure the accommodation meets the needs of guests, owners, stakeholders, neighbours and the community in general;	Section 5
	• Ensure operation of the site meets demands of the clientele while minimising impacts of local community;	Section 5
	+ Ensure the operational guidelines meet requirements for use of public areas that reduce impacts on other guests and the local community;	Section 5
	+ Ensure written record of management practices, standards and procedures are available for to all relevant parties;	Section 6
	• Provide a system by which standards, procedures and systems can be monitored and improved to ensure satisfaction of all stakeholders;	Section 6
	• Ensure all areas of safety meet the standards as set by Government; and	Section 5
	• Ensure the behaviours of both guests and those in the vicinity of the site are in keeping with standards as set down by those in the local community.	Section 5
	The Plan of Management must include a methodology to demonstrate how the following matters will be addressed to ensure that the facility is operated within acceptable limits:	See below

#### Table 2 - PoM Requirements

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BLAYNEY MOTEL PLAN OF MANAGEMENT



CoA	Requirement	Reference
	Maximum capacity of the premises;	Section 3.4
	• Maximum capacity of the premises allocated to tenants associated with construction or other mining related work and maximum capacity of the premises allocated to the general public not associated with construction or other mining related work;	Section 3.4
	• Online booking system which can be accessed via the general public via the internet;	Section 3.3 Section 5.1
	• Register identifying the purpose of each tenants overnight stay (i.e. construction or other mining related work vs general public not associated with construction or other mining related work);	Section 3.3 Section 5.1
	• Operations and activities;	Section 3 Section 5
	Management responsibilities;	Section 2
	• Staffing;	Section 3.5
	Security;	Section 3.8
	Accommodation standards and guest rules;	Section 5.1
	• Car parking;	Section 5.3
	Noise minimisation;	Section 5.2
	Stakeholder liaison;	Section 5.10
	Complaints and complaints book; and	Section 5.9
	Contact details for the on-site manager	Section 2.1
	In addition, the Plan of Management must include details to confirm that the operator will establish telephone complaints hot line for the purpose of receiving complaints from members of the public in relation to activities conducted on-site or by vehicles associated with the site.	Section 5.9
	The details of the complaint's hotline are to be provided to adjoining owners and any property within 50m of the property boundary prior to the commence of any works.	
	The Plan of Management must include details to confirm that the operator will prepare annual reports. Each annual report must provide a detailed overview of the operation of the facility for the previous 12 months, including details outlining how each requirement of the Plan of Management has been met.	Section 6
	If a requirement of the Plan of Management has not been met, it must also be detailed in annual report.	
	The report must include a record of any complaints received, including the time and date; the manner in which the complaint was addressed and whether or not the complaint was resolved.	
	The operator is required to submit the annual report to the Blayney Shire Council annually from the first use of the facility	
14	On-site Landscape Plan	Section 5.4
	Prior to works commencing, a detailed on-site landscape plan must be submitted to the satisfaction of the Blayney Shire Council Department of Planning and Environmental Services.	
	<i>The detailed landscape plan must be prepared in association with Kate Higgins in accordance with the recommendations of the report Heritage Impact Statement, Motel, 62 Osman Street, Blayney dated 30 May 2021.</i>	

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BLAYNEY MOTEL PLAN OF MANAGEMENT



CoA	Requirement	Reference
	The detailed landscape plan must include a statement which identifies why the proposed landscaping are appropriate within the context of the Blayney Heritage Conservation Area and local Heritage Items which adjoin the approved development.	
	Where selected species are required for the purposes of screening for heritage conservation, the detailed landscape plan must specify that these species be semi- mature at the time of planting.	
	The detailed landscape plan must identify species which are suitable to the local climate.	
	The detailed landscape plan must also be prepared with regard to the following Crime Prevention Through Environmental Design principles:	
	• Shrubs should on average not be above 900mm in height. Consider pruning the shrubs in the front yard to reduce concealment.	
	• When selecting and maintaining vegetation, consideration should be given to the possibility of areas becoming overgrown and concealment opportunities on the maturity of the vegetation.	
	• A safety convention is to have 3- 5 metres of cleared space on either side of paths. Pedestrians generally feel safer on wider pathways.	
	• Develop a maintenance plan as clean, well maintained areas often exhibit strong territorial cues.	
	The on-site landscape plan must also include details to demonstrate how a structurally sound 1.8m high fence will be provided around the perimeter of the subject property where the existing fence is not already 1.8m in height or structurally sound.	
	Where a common boundary fence is required to be upgraded, the developer will need to obtain written consent from the adjoining landowner. All works are to be undertaken solely at the developers own cost.	
38	Plan of Management	This PoM
	The requirements of the approved Plan of Management must be adhered to at all times.	
39	Confirmation of Effluent Discharge Volumes	Section 5.5
	After a period of 2 months from the issue of an occupation certificate, the developer shall have installed, by suitably qualified consultants, calibrated flow measurement and level sensor equipment to council's sewer reticulation network. Instrumentation shall be installed at a predetermined location approved by council, for a period of twelve (12) months. Information collected shall include but, not be limited to, flow rate, flow volume, flow frequency, and flow depth in pipes and manholes. Reports shall be provided to council on a monthly basis. A certificate of calibration for the measurement equipment shall be provided to council at the time of installation. This data shall be used by council for the determination of actual ET units generated by the development, with corresponding increase or reduction of headworks charges.	Section 6
90	Noise	Section 5.2
	Mechanical services must not have a noise impact greater than 5dBA LAeq (15m minutes) during any period in accordance with the Protection of the Environment Operations (Noise Control) Regulation 2008.	
91	Access to Manholes Access to any sewer manholes on the subject land is not to be obstructed in anyway. Note: Any alterations to the existing manhole/s or adjustments in height to the	Section 5.3
	existing manhole/s are to be at the applicant's cost.	

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BLAYNEY MOTEL PLAN OF MANAGEMENT



CoA	Requirement	Reference	
	Clearance from power lines is to be provided during and after construction. Minimum distances from power lines are to be maintained.		
94	Annual Fire Safety Certificate	Section 5.4	
	For every 12 month period after the issue of the Final Fire Safety Certificate the owner/agent of the building must provide the Council and the Commissioner of NSW Fire Brigades with a copy of an Annual Fire Safety Statement certifying that each specified fire safety measure is capable of performing to its specification.	Section 6	
	Where any essential services are installed in the building a copy of the final Fire Safety Certificate (together with a copy of the current fire safety schedule) is to be given to the Commissioner of Fire and Rescue NSW. A further copy of the Certificate (together with a copy of the current fire safety schedule) is to be prominently displayed in the building.		
95	<b>Premises in a clean and tidy state</b> The premises shall be maintained in a clean and tidy state at all times.	Section 5.4	
96	Garbage Storage	Section 5.5	
20	Garbage storage areas are to be adequately screened from public view.	Section 3.5	
97	Line Marking	Section 5.3	
	All line-marking for the on-site car parking spaces and footpath areas are to be maintained in a visible condition, at all times.		
98	Car parking areas not to be used for another- purpose	Section 5.3	
	All car parking spaces, loading and unloading areas, vehicle manoeuvring and driveway areas must not be used for the storage of any goods or materials and must be available for their intended use, at all times.		
99	Communal Food Preparation Area and laundry	Section 5.1	
	The communal food preparation and laundry area is to be used for the exclusive use of paying guests for personal food preparation and laundering and is not to be used for commercial purposes without separate consent being obtained		
102	Crime Prevention Through Environmental Design	Section 3.7	
	The following matters must be incorporated into the approved development prior to the first use occurring:	Section 3.8 Section 5.6	
	Lighting	Section 5.7	
	• Lighting in the car park areas and at the entrance to the premise.	1.	
	Sensor lighting to all vestibule and walkways including amenities block.		
	• Sensor lights should be vandal resistant and projected away from buildings towards pathways - not towards windows and doors.		
	Note: All outdoor lighting must be installed in accordance with AS/NZS 4282:2019 Control of the obtrusive effects of outdoor lighting)		
	Surveillance /Technical Supervision		
	Installation of CCTV cameras in the office space;		
	Installation of back to base alarm system.		
	Territorial Reinforcement		
	• Access points should be clear, legible and useful. Signage is best located at (or prior to) junctions requiring people to make decisions. Creative markings in carparks aid wayfinding.		
	Signage		
	Include traffic flow signage and traffic flow arrows.		

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BLAYNEY MOTEL PLAN OF MANAGEMENT



CoA	Requirement	Reference
	+ Speed limit signage in the driveway/carpark area. Max 10kph.	
	Trespassers will be prosecuted signage clearly visible around entrance/exit points.	
	Number each unit and due to the volume of units' directional signage to each area.	
	Access Control	
	Fencing to the entire perimeter of the premises	
	Electronic communications/entry system	
	<ul> <li>Security screen doors to all entry/exit points.</li> </ul>	
	<ul> <li>Polycarbonates and impact resistant glass/glazing to all windows.</li> </ul>	
	Key operated to all windows.	
	• The main entry/exit doors to all buildings should be fitted with single cylinder locksets (Australian Standards) which comply with the building code of Australia.	
	<ul> <li>Appropriate locksets be installed on any skylights to prohibit unauthorised entry.</li> </ul>	
	• Speed bumps in car parks/access ways help to reduce the likelihood of attracting bike riders and skateboarders.	
	Night safe if cash on premises	
DA 2022	2/0006 (Approved)	
14	Plan of Management	This PoM
	Prior to the issue of the Construction Certificate, the applicant is to submit a Plan of Management to the Principal Certifying Authority which addresses the following objectives:	
	- Ensuring the premises are managed to an acceptable standard and to ensure the accommodation meets the needs of guests, owners, stake holders, neighbours and the community in general;	Section 5
	- Ensuring operation of the site meets demands of the clientele while minimising impacts of local community;	Section 5
	- Ensuring the operational guidelines meet requirements for use of public areas that reduce impacts on other guests and the local community;	Section 5
	- Ensuring written records of management practices, standards and procedures are available for to all relevant parties;	Section 6
	- Providing a system by which standards, procedures and systems can be monitored and improved to ensure satisfaction of all stakeholders;	Section 6
	- Ensuring all areas of safety meet the standards as set by Government; and	Section 5
	- Ensuring the behaviours of both guests and those in the vicinity of the site are in keeping with standards as set down by those in the local community.	Section 5
	The Plan of Management must include a methodology to demonstrate how the following matters will be addressed to ensure that the facility is operated within acceptable limits:	This PoM
	- Maximum capacity of the premises;	Section 3.4
	- On line booking system which can be accessed via the general public via the internet;	Section 3.3 Section 5.1
	- Register identifying the purpose of each tenants overnight stay;	Section 3.3 Section 5.1
	- Operations and activities;	Section 3 Section 5

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BLAYNEY MOTEL PLAN OF MANAGEMENT



CoA	Requirement	Reference
	- Management responsibilities;	Section 2
	- Staffing;	Section 3.5
	- Security;	Section 3.8
	- Accommodation standards and guest rules;	Section 5.1
	– Car parking;	Section 5.3
	- Noise minimisation;	Section 5.2
	- Stakeholder liaison;	Section 5.10
	- Complaints and complaints book; and	Section 5.9
	- Contact details for the on-site manager.	Section 2.1
	In addition, the Plan of Management must include:	See below
	- details to confirm that the operator will establish telephone complaints hot line for the purpose of receiving complaints from members of the public in relation to activities conducted on-site or by vehicles associated with the site.	Section 5.9
	- details of the complaints hotline are to be provided to adjoining owners and any property within 50m of the property boundary prior to the commence of any works.	Section 5.9
	<ul> <li>details to confirm that the operator will prepare annual reports. Each annual report must provide a detailed overview of the operation of the facility for the previous 12 months, including details outlining how each requirement of the Plan of Management has been met.</li> </ul>	Section 6
	- Requirements for the preparation of a report for submission to Blayney Shire Council on an annual basis (commencing from first use of the facility). As a minimum the annual report must detail	Section 6
	a. If a requirement of the Plan of Management was not met,	
	b. A record of any complaints received, including the time / date; the manner in which the complaint was addressed and whether or not the complaint was resolved.	
9	Landscape Plan	Section 5.4
	Prior to the issue of a Construction Certificate, the applicant is to submit to the Principal Certifying Authority a detailed landscaping plan that includes, as a minimum, the following detail:	
	a) Retention of the existing street tree on Osman Street adjacent to site egress.	
	<i>b)</i> Retention of the western boundary fence (and associated landscape treatments), which is required to be constructed for screening purposes.	
	<i>c)</i> Retention of the 4 x existing pencil pines at the pedestrian entrance to the development on Osman Street.	
	d) A statement which identifies why the proposed landscape installations are appropriate within the context of the Blayney Heritage Conservation Area.	
	<i>e) A detailed plan and schedule of landscape species to be used which are suitable to the local climate.</i>	
	f) A detailed plan and schedule of street tree species to be used for the Osman Street frontage of the development site and as agreed to by Blayney Shire Council.	
	<i>g) Details of proposed upgrades to the existing dividing boundary fences shared with the properties at 29 – 33 Water Street Blayney, and 64 Osman Street, Blayney and as agreed to by relevant property owners.</i>	
39	Access to manholes	Section 5.3

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BLAYNEY MOTEL PLAN OF MANAGEMENT



CoA	Requirement	Reference
	Access to any sewer manholes on the subject land is not to be obstructed in any way.	
	Note: Any alterations to the existing manhole/s or adjustments in height to the existing manhole/s are to be at the applicant's cost.	
56	Plan of Management	
	The requirements of the approved Plan of Management must be adhered to at all times.	
57	Clearance from Power Lines	Section 5.4
	Clearance from power lines is to be provided during and after construction. Minimum distances from power lines are to be maintained in accordance with the requirements of the relevant service authority.	
58	Annual Fire Safety Certificate	Section 5.4
	For every 12 month period after the issue of the Final Fire Safety Certificate the owner/agent of the building must provide the Council and the Commissioner of NSW Fire Brigades with a copy of an Annual Fire Safety Statement certifying that each specified fire safety measure is capable of performing to its specification.	Section 6
	Where any essential services are installed in the building a copy of the final Fire Safety Certificate (together with a copy of the current fire safety schedule) is to be given to the Commissioner of Fire and Rescue NSW. A further copy of the Certificate (together with a copy of the current fire safety schedule) is to be prominently displayed in the building.	
59	Premises in a clean and tidy state	Section 5.4
	The premises shall be maintained in a clean and tidy state at all times.	and and the
60	<b>Garbage storage</b> All domestic garbage generated by the use of the proposed motel must be disposed of immediately to the approved garbage storage and collection area. Temporary storage of garbage within the grounds of the approved motel is not permitted at any stage.	
61	Car parking areas not to be used for another purpose	Section 5.3
	All car parking spaces, loading and unloading areas, vehicle manoeuvring, and driveway areas must not be used for the storage of any goods or materials and must be available for their intended use, at all times.	
62	Ingress/Egress	Section 5.3
	All vehicles entering or leaving the subject property shall be driven in a forward direction.	
DA 2022/	/0099 (Approved)	
13	Plan of Management	This PoM
	Prior to the issue of the Construction Certificate, the applicant is to submit a Plan of Management to the Principal Certifier which addresses the following objectives:	
	<ul> <li>Ensuring the premises are managed to an acceptable standard and to ensure the facility meets the needs of guests, owners, stake holders, neighbours and the community in general.</li> </ul>	Section 5
	<ul> <li>Ensuring operation of the site meets demands of the clientele while minimising impacts of local community.</li> </ul>	Section 5

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BLAYNEY MOTEL PLAN OF MANAGEMENT



A	Requirement	Reference
	Ensuring the operational guidelines meet requirements for use of public areas that reduce impacts on other guests and the local community.	Section 5
	<ul> <li>Ensuring written records of management practices, standards and procedures are available for to all relevant parties.</li> </ul>	Section 6
	<ul> <li>Providing a system by which standards, procedures and systems can be monitored and improved to ensure satisfaction of all stakeholders.</li> </ul>	Section 6
	Ensuring all areas of safety meet the standards as set by Government;	Section 5
	• Ensuring the behaviours of both guests and those in the vicinity of the site are in keeping with standards as set down by those in the local community.	
	The Plan of Management must include a methodology to demonstra following matters will be addressed to ensure that the facility is oper acceptable limits:	and the second se
	Maximum capacity of the premises.	Section 3.4
	<ul> <li>Online booking system which can be accessed via the general public via the internet.</li> </ul>	Section 3.3 Section 5.1
	<ul> <li>Register identifying the purpose of each tenant overnight stay.</li> </ul>	Section 3.3 Section 5.1
	Operations and activities.	Section 3 Section 5
	Management responsibilities	Section 2
	Staffing.	Section 3.5
	Security.	Section 3.8
	Guest rules.	Section 5.1
	Smoking (including littering of cigarette butts).	Section 5.3
	Car parking.	Section 5.2
	Noise minimisation.	Section 5.10
	Stakeholder liaison.	Section 5.9
	Complaints and complaints book, and	Section 2.1
	Contact details for the on-site manager.	Section 3.3 Section 5.1
	In addition, the Plan of Management must include:	
	<ul> <li>details to confirm that the operator will establish telephone complaints hot line for the purpose of receiving complaints from members of the public in relation to activities conducted on-site or by vehicles associated with the site.</li> </ul>	Section 5.9

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BLAYNEY MOTEL PLAN OF MANAGEMENT



CoA	Requirement	Reference
	<ul> <li>details of the complaints hotline are to be provided to adjoining owners and any property within 50m of the property boundary prior to the commence of any works.</li> </ul>	Section 5.9
	details to confirm that the operator will prepare annual reports. Each annual report must provide a detailed overview of the operation of the facility for the previous 12 months, including details outlining how each requirement of the Plan of Management has been met.	Section 6
	<ul> <li>Requirements for the preparation of a report for submission to Blayney Shire Council on an annual basis (commencing from first use of the facility). As a minimum the annual report must detail</li> <li>1. If a requirement of the Plan of Management was not met,</li> <li>2. A record of any complaints received, including the time / date; the</li> </ul>	Section 6
	manner in which the complaint was addressed and whether or not the complaint was resolved.	-
35	Approved use The approved building must not be used for any other purpose other than the approved use (ie, a restaurant, bar, lounge and guest recreation area). Any proposed change of use shall only be permitted with the consent of Council.	Section 3
36	<b>Plan of Management</b> The requirements of the approved Plan of Management must be adhered to at all times.	This PoM
37	Clearance from Power Lines Clearance from power lines is to be provided during and after construction.	Section 5.4
	Minimum distances from power lines are to be maintained in accordance with the requirements of the relevant service authority.	
38	Annual Fire Safety Certificate For every 12-month period after the issue of the Final Fire Safety Certificate the owner/agent of the building must provide the Council and the Commissioner of NSW Fire Brigades with a copy of an Annual Fire Safety Statement certifying that each specified fire safety measure is capable of performing to its specification.	Section 5.4 Section 6
	Where any essential services are installed in the building a copy of the final Fire Safety Certificate (together with a copy of the current fire safety schedule) is to be given to the Commissioner of Fire and Rescue NSW. A further copy of the Certificate (together with a copy of the current fire safety schedule) is to be prominently displayed in the building.	
39	Premises in a clean and tidy state	Section 5.4
	The premises shall be maintained in a clean and tidy state at all times.	
40	<b>Garbage storage</b> All domestic garbage generated by the use of the proposed use must be disposed of immediately to the approved garbage storage and collection area.	Section 5.5

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BLAYNEY MOTEL PLAN OF MANAGEMENT



CoA	Requirement	Reference
41	Car parking areas not to be used for another purpose	Section 5.3
	All car parking spaces, loading and unloading areas, vehicle manoeuvring, and driveway areas must not be used for the storage of any goods or materials and must be available for their intended use, at all times.	
42	<b>Ingress/Egress</b> All vehicles entering or leaving the subject property shall be driven in a forward direction.	Section 5.3

## 1.3 Consideration of planning principles

This PoM has been prepared in accordance with the Land and Environment Court Planning Principles for the preparation of Plans of Management as detailed under *Amazonia Hotels Pty Ltd v Council of the City of Sydney [2014] NSWLEC 1247* and *Renaldo Plus 3 Pty Limited v Hurstville City Council [2005] NSWLEC 315.* 

The core questions to be considered in deciding whether a PoM is appropriate for a particular use and situation, as identified by the planning principles, are dealt with throughout this PoM and summarised in **Table 3** (overleaf).

C	onsideration	Response		
7.	Do the requirements in the Management Plan relate to the proposed use and complement any conditions of approval?	This PoM relates to the Blayney Motel and has been prepared in accordance with relevant conditions of consent in relation to DA4/2021 and DA6/2022.		
2.	Do the requirements in the Management Plan require people to act in a manner that will be unlikely or unreasonable in the circumstances of the case?	All requirements or responsibilities are reasonable and feasible and would not impose unduly on future users of the Blayney Motel.		
3.	<i>Can the source of any breaches of the Management Plan be readily identified to allow for any enforcement action?</i>	The measures put in place via the PoM provide clear and concise procedures, that if not completed in accordance with the PoM, would be considered a breach that is readily identifiable to management.		
4.	Do the requirements in the Management Plan require absolute compliance to achieve an acceptable outcome?	As noted via the planning principle, 'for a Management Plan to be effective, a single breach or small number of breaches should not create a situation where there is unacceptable impact.'		
		Absolute compliance is not considered necessary to achieve an acceptable outcome. The implementation of this PoM, including monitoring and complaint management measures, is likely to ensure acceptable outcomes for the operation of the Blayney Motel.		
5.	<i>Can the people the subject of the Management Plan be reasonably expected to know of its requirements?</i>	An obligation for staff training is provided within the PoM to ensure that all staff are aware of the PoM and their obligations under the PoM ( <b>Section 5.11</b> )		
6.	Is the Management Plan incorporated in the conditions of consent, and to be enforced as a condition of consent?	The PoM has been prepared in accordance with relevant conditions of consent, DA4/2021.		
7.	Does the Management Plan contain complaint management procedures?	Yes, Complaint management procedures are outlined in Section 5.9		

#### Table 3 - Land and Environmental Court Planning Principles

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### BLAYNEY MOTEL

PLAN OF MANAGEMENT



Consideration	Response
8. Is there a procedure for updating and changing the Management Plan, including the advertising of any changes?	The PoM is to be updated as outlined in <b>Section 6</b> . Advertising of any changes is not proposed or required

## 2. ROLES AND RESPONSIBILITIES

### 2.1 Roles and contacts

Details and contact information for staff are detailed in Table 4 below.

Role	Name	Contact Details
CEO	Tom Issa	tom@issagroup.com.au
000	Paul Kuipers	paul@tihospitality.com.au
Complaint Hotline	N/A	02 8604 0888
Site Manager	TBC	TBC

Table 4 -	Dalas	and.	
able 4 -	Roles	anu	contacts

Note: when the details of the Site Manager are known, this document will be updated and a copy provided to Council.

### 2.2 Responsibilities

Specific responsibilities are specified for each action in the Operating Procedures (**Section 5**) in this PoM. General responsibilities are outlined below.

With respect to this PoM, the Site Manager is responsible for:

- Implementing and monitoring compliance with this PoM.
- Delegation of tasks to staff (including contractors) to ensure compliance with this PoM.
- Ensure the PoM is reviewed regularly and updated as required.
- Manage work, health and safety matters.

Where this PoM refers to the **Site Manager** having responsibility for an action in the Operating Procedures (**Section 5**), that responsibility may be delegated by the Site Manager to other staff. However, the **Site Manager** retains the responsibility to ensure all delegated tasks are complied with.

## 3. OPERATIONS

### 3.1 Operating hours

The following hours of operation apply:

- The motel will operate 24 hours a day, 7 days a week.
- Reception will operate between 9am to 9pm, 7 days a week.
- Outdoor communal areas are open between 9am to 9pm, 7 days a week.

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BLAYNEY MOTEL PLAN OF MANAGEMENT



### 3.2 Check in/out

All guests of the motel are required to check in and out. This may either occur in person or via an automated system that is to be put in place.

Check-in is after 2:00pm and check-out is before 10:00am.

After hour check-in and check-out is available by staff being contactable by phone for after-hours check ins.

### 3.3 Motel management system

A Motel Management System (Appendix A) is used to manage the operation of the motel and includes the following:

- Schedule Reporting
- Task management
- Automated Invoicing
- Rate Management
- Marketing Campaign Tools
- Booking Management

The system includes an online booking system which is accessible to the general public, via the internet, and a guest register to record the purpose of each guests overnight stay (i.e. construction or other mining related work vs general public not associated with construction or other mining related work).

This system is used to manage the motel's operation and regulate motel bookings, ensuring that the motel is operated within acceptable limits.

### 3.4 Capacity

The capacity of the motel is as follows:

- Stage 1 includes 102 motel rooms including 92 single rooms, 4 double rooms and 6 accessible double rooms accommodating a maximum of 112 guests.
- Stage 3 provides an additional 20 motel rooms (including 2 accessible rooms) all of which are double rooms accommodating a maximum of 40 guests.

By reference to condition 21 of DA 2021/0004, the DA relating to the development did not provide a specific limit between construction/mining tenants/guests and tenants/guests staying for other reasons (i.e, tourism, business etc). It is proposed to limit tenants associated with the mining/construction to 90% of the capacity of the facility. Noting that bookings for the mining/construction industry tenants will be group bookings via operators, this will be managed by the motel operator via the online booking system and through the internal **Motel Management System** to ensure group bookings never exceed 90% of occupancy. There will be no maximum capacity for non-mining/non-construction tenants.

### 3.5 Staffing

The motel will employ full time staff to maintain the premises and ensure it is properly managed. Part time and casual staff are employed as required to assist with the motel's operation. A site manager will reside on the property.

Contractors are employed as required to ensure the motel is appropriately maintained and managed (i.e. landscapers, plumbers, electricians etc.).

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### 3.6 Access

The motel is accessible via an internal driveway connecting Church Street.

Parking spaces provided by each stage of the development is as follows:

- Stage 1 includes 81 parking spaces.
- Stage 3 includes an additional 26 parking spaces.
- No additional parking is provided at stage 4.

Parking is provided for guests together with a bus service/drop off area.

Access and parking arrangements for the motel are depicted in Figure 3 through Figure 5 of this PoM.

## 3.7 Signage

The following signage will be maintained at the motel:

- Traffic flow signage and traffic flow arrows.
- Speed limit signage in the driveway and carpark restricted to maximum of 10 kilometres per hour (kph).
- "Trespassers will be prosecuted" signage clearly visible around entrance/exit points.
- Numbering for each unit and directional signage to each unit area.
- Reception signage outlining operational hours and after hour check in/out (Appendix B) .
- Fire Exit door and Emergency Assembly Point signage.
- "Restricted Access" signage detailing areas restricted to staff and authorised personnel.
- CCTV operation signage.
- Signage reminding guests to secure and remove valuables from their vehicles.

### 3.8 Security

The approved development has been designed to achieve the four key principles of Crime Prevention through Environmental Design (CPTED) including: surveillance, access control, territorial reinforcement and space management.

Security features will be provided in accordance with the requirements of condition 102 of the development consent. These include:

- Security signage
- Fencing
- Lighting in the car park areas and entrance to the motel site
- Sensor lighting to all vestibule and walkways, including amenities
- CCTV in the office space and the motel site (where required)
- Back to base alarm system
- Communication systems
- Key operated windows
- Single cylinder lockets for main entry/exit doors to all buildings.
- Locksets installed on skylights
- Speed humps in the car park and access areas to deter bike riding and skateboarding
- Night safe (if cash is to be stored on premises).

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## 4. RISK ASSESSMENT

This section of the PoM identifies and assesses potential risks associated with operating the Blayney Motel.

The risk rating is measured in terms of consequence (severity) and likelihood (probability) of the event happening.

**Table 8** provides a risk analysis of environmental issues associated with the development of the site. These risks can be managed through the implementation of the Operating Procedures in **Section 5** of this PoM.

The descriptors of likelihood and consequence are provided in Table 6 and Table 7.

196-196			Consequence		
Likelihood	1. Insignificant	2. Minor	3. Moderate	4. Major	5. Catastrophic
A. Rare	Low	Low	Low	High	High
B. Unlikely	Low	Low	Moderate	High	Very High
C. Possible	Low	Moderate	High	Very High	Very High
D. Likely	Low	Moderate	High	Very High	Very High
E. Almost certain	Low	Moderate	High	Very High	Very High

Table 5 – Risk assessment matrix	Table 5 -	<b>Risk assessment</b>	matrix
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#### Table 6 - Qualitative measures of likelihood

Level	Descriptor	Example description	
A	Rare	Uncommon, unusual: not likely to occur within a 10 year period	
в	Unlikely	Not expected to happen: may occur once every 5 to 10 years	
с	Possible	Could happen: will probably occur between 1 to 5 years	
D	Likely	Expected to happen: expected to occur at least once in a 6 to 12 month period	
E	Almost certain	Will happen: imminent or will occur in 1 to 6 months	

#### Table 7 - Qualitative measures of consequence or impact

Level	Descriptor	Example description
1	Insignificant	Negligible impact, little disruption to normal operation, low increase in normal operation costs
2	Minor	Minor impact for small population, some manageable operation disruption, some increase in operating costs
3	Moderate	Minor impact for large population, significant modification to normal operation but manageable, operation costs increased, increased monitoring
4	Major	Major impact for small population, systems significantly compromised and abnormal operation if at all, high level of monitoring required
5	Catastrophic	Severe impact for large population, complete failure of systems

**Table 8** provides a risk analysis of environmental issues associated with the development of the site. These risks can be managed through the implementation of the Operating Procedures in **Section 5** of this PoM.

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Operational risks	Consequence	Likelihood	Risk Rating
Noise impacts to guests	Moderate	Possible	High
Noise impacts to neighbourhood	Moderate	Possible	High
Adverse traffic interactions - guests	Moderate	Unlikely	Moderate
Adverse traffic interactions - public	Moderate	Unlikely	Moderate
Overcapacity issue	Moderate	Unlikely	Moderate
Visual impacts from poor site maintenance	Minor	Unlikely	Low
Pollution incident	Moderate	Rare	Low
Crime incident	Moderate	Rare	Low
Health incident	Moderate	Rare	Low
Safety incident	Moderate	Rare	Low
Staff shortage	Minor	Unlikely	Low

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## 5. Operating Procedures

## 5.1 Booking and guest management

### 5.1.1 OBJECTIVE

To ensure the motel operates in accordance with a Motel Management System, does not exceed capacity limits and to ensure that guests behave in a reasonable manner to avoid impacts to other guests and neighbours.

Who		Site Manager and Staff (including contractors)		
Wher	e	Blayney Motel		
When	/hen As required or specified in this procedure			
Actio	ns		Responsibility	
1,		Ensure the <b>Motel Management System</b> is operating and functional at all times, including making or arranging any necessary updates.		
2.	guests' ove	Ensure the <b>Motel Management System</b> records the purpose of each guests' overnight stay. The details of all guests are to be recorded in the <b>Guest Register</b> .		
3.		Ensure the <b>Motel Management System</b> includes and maintains an online booking system that is accessible to the general public via the internet.		
4.	Ensure that the motel operates within capacity limits specified in <b>Section 3.4</b> of this PoM.		Site Manager	
5.	Ensure no overcrowding (i.e., excess persons per room) occurs at the motel. Overcrowding is to be managed by maintaining the booking system and monitoring visitors to the motel. The operator will ensure that the maximum number of guests allowed via the development consent is not exceeded at any time.		Site Manager Staff	
6.	to 90% of 1 PoM). This online boo	Guests associated with the mining/construction industry will be limited to 90% of the capacity of the motel (by reference to <b>Section 3.4</b> of this PoM). This will be managed by the Site Manager and staff utilising the online booking system and the <b>Motel Management System</b> . There will be no capacity limit on non-construction/non-mining guests.		
7,	Ensure all ( room,	Guests are provided with Guest Information in their motel	Site Manager Staff	
8.	Inform all guests of the <b>Guest Rules</b> via information provided in their room and upon check-in.		Site Manager Staff	
9.	· · · · · · · · · · · · · · · · · · ·	Monitor guest behaviours and take reasonable steps to ensure guest behave in an orderly manner.		
10	Guests who to leave.	o fail to comply and adhere to the <b>Guest Rules</b> must be asked	Site Manager Staff	

#### 5.1.2 PROCEDURE

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Who Site Manag		Site Manager and Staff (including contractors)	
Where Blayney Motel			
When         As required or specified in this procedure           Actions         Control			
		Responsibility	
	Procedure • Emerge	incident or complaint is received, the following Operating s must be followed: ency and incident management aints management	
11.	Ensure that communal food preparation and laundry areas are used for the exclusive use of paying guests for personal food preparation and laundering. These areas are not to be used for commercial purposes without separate consent from BSC being obtained.		Site Manager Staff
12.	If an incident occurs or complaint is received in relation to guests, the following Operating Procedures must be followed: <ul> <li>Emergency and incident management</li> <li>Complaints management</li> </ul>		Site Manager Staff
13.	Report any	known or suspected issues with guests to the Site Manager.	Staff
Recor	ds		
Appe Appe			

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## 5.2 Noise and amenity management

#### 5.2.1 OBJECTIVE

To ensure motel operations are undertaken in a manner that minimises the potential for noise impacts.

#### 5.2.2 PROCEDURE

Who Site Manager and Staff (including contractors)		
Where	Blayney Motel	
When	As required or specified in this procedure	
Action	Responsibility	
1.	Take all reasonable efforts to ensure that the noise generated during the motel's operation are minimised.	Site Manager Staff
2.	Ensure that guests are informed upon check-in of a quiet period between 8:00pm to 6:00am.	Site Manager Staff
3.	Ensure that deliveries, loading and unloading of goods at the motel only occurs between 7.00am and 6.00pm on weekdays or Saturdays.	Site Manager Staff
4.	Ensure any mechanical services used at the motel do not have a noise level greater than 5 decibels A-weighted (dBA) Equivalent Continuous Sound Level (LAeq) (15m minutes) during any period in accordance with the Protection of the Environment Operations (Noise Control) Regulation 2021.	Site Manager
5.	If significant maintenance and/or cleaning works with excessive noise are required (i.e. ceiling replacement following storm damage etc.), ensure that guests and neighbouring properties are aware of the proposed work and if required, that BSC is notified.	Site Manager
6.	Monitor the motel site to ensure that smoking only occurs within designated smoking areas.	Site Manager Staff
7.	Ensure the use of the premises, including plant or equipment installed on the premises, does not cause the emission of smoke, soot, dust, solid particles, gases, fumes, vapours, mists, odours or other air impurities that are a nuisance or danger to health.	Site Manager
8.	Ensure lighting in common areas is complaint with <u>AS4282-1997</u> (Control of the obtrusive effects of outdoor lighting) to minimise amenity impacts to neighbours.	Site Manager
9.	If an incident occurs or complaint is received in relation to noise or amenity, the following Operating Procedures must be followed: • Emergency and incident management • Complaints management	Site Manager Staff
	Report any known or suspected noise issues to the Site Manager.	Staff

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## 5.3 Traffic and parking management

### 5.3.1 OBJECTIVE

To manage traffic movements and parking at the motel to minimise adverse traffic interactions or impacts.

Who	Site Manager and Staff (including contractors)	
Wher	re Blayney Motel	
When		
Actio	ins	Responsibility
1,	Ensure that general traffic movement is restricted to defined sea areas.	aled Site Manager Staff
2.	Ensure that all drivers adhere to posted speed limits within the site.	motel Site Manager Staff
3.	Ensure parking is restricted to defined parking areas that are see that vehicles are parked in an appropriate manner i.e. within ma lines and not obstructing passageways.	
4.	All car parking spaces, loading and unloading areas, vehicle manoeuvring, and driveway areas must not be used for the stor any goods or materials and must be available for their intended all times.	Dian
5.	Ensure access is maintained for emergency vehicles to enter the site as required.	e motel Site Manager Staff
6.	Ensure that all road related infrastructure (including line marking signs etc.) are maintained in good working order.	gs and Site Manager Staff
7.	Install and maintain speed bumps in car parks/access ways if reduce speed or reduce the likelihood of attracting bike riders a skateboarders.	
8.	If an incident occurs or complaint is received in relation to traffi parking, the following Operating Procedures must be followed: • Emergency and incident management • Complaints management	c and Site Manager Staff
9.	Report any known or suspected traffic or parking issues to the S Manager.	Site Staff
Reco	rds	
Nil		

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## 5.4 Cleaning and maintenance

### 5.4.1 OBJECTIVE

To ensure the motel site is maintained and clean to ensure a safe, tidy and hygienic environment for staff, guests, visitors and neighbours.

#### 5.4.2 PROCEDURE

Who	-	Site Manager and Staff (including contractors)	
Where	e	Blayney Motel	
When			
Actions			Responsibility
1.	Monitor and maintain the motel (including the motel rooms office, laundry, kitchen, carparks, landscaping. roadways and common areas etc.) in a clean, tidy and safe condition at all times.		Site Manager Staff
2.		all motel rooms are checked and cleaned in accordance with <b>Check Sheet</b> .	Staff
3.		cleaning and maintenance is carried out in accordance with ce Schedule and Cleaning Schedule.	Site Manager Staff
4.	Ensure maintenance issues are resolved in a timely manner and sign off on any completed repairs as required.		Site Manager
5.	Ensure that all on-site infrastructure and equipment (including light fittings, smoke detectors, alarms etc.) are maintained to ensure proper operation and to minimise potential impacts to staff members, guests, visitors and/or neighbours. This includes ensuring the motel is not affected by vandalism or graffiti.		Site Manager Staff
	Details of maintenance are to be included within the <b>Maintenance</b> Schedule.		
6.	Ensure compliance with operational maintenance requirements in the <b>On-Site Landscape Plan</b> .		Site Manager
7.	Ensure safe	distances from power lines are maintained at all times.	Site Manager
8.	Ensure acce times.	ess to sewer manholes is maintained and unobstructed at all	Site Manager
9.	If an incident occurs or complaint is received in relation to cleaning, maintenance or vandalism, the following Operating Procedures must be followed: • Emergency and incident management		Site Manager Staff
10		ints management	C+-11
10.	Report any Site Manag	known or suspected cleaning or maintenance issues to the er.	Staff
Recon	ds		
Apper	ndix F - Main	tenance Schedule	

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Appendix G - Cleaning Schedule Appendix H - Room Check Sheet Appendix I - On-Site Landscape Plan This is Page No. 264 of the Attachments of the Extraordinary Council Meeting of Blayney Shire Council held on 18 December 2024

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## 5.5 Waste management

## 5.5.1 OBJECTIVE

To minimise the occurrence of waste related impacts generated by the motel operation.

### 5.5.2 PROCEDURE

Who	Site Manager and Staff (including contractors)	
Where	Where Blayney Motel	
When	As required or specified in this procedure	
Actions		Responsibility
1.	Ensure all wastes generated by the motel are segregated and stored in appropriate waste containers.	Site Manager Staff
2.	Ensure all wastes disposed of from the motel site are collected by a waste collection service and disposed of at a licensed waste facility. Waste containers are to be emptied when required from the designated waste storage area located within the site	Site Manager Staff
3.	Ensure that any waste unable to be collected by a waste collection service is appropriately disposed of at a licensed waste facility.	Site Manager
4.	Ensure that waste containers remain accessible on-site and are not overfilled.	Site Manager Staff
5.	Ensure waste containers are covered and/or located to prevent windblown litter and to prevent attracting vermin.	Site Manager Staff
6.	Ensure that an adequate number of waste containers are kept at the motel site at all times for waste storage.	Site Manager
7.	Ensure garbage storage areas are adequately screened from public view.	Site Manager Staff
8.	Any waste that is not considered general solid waste (putrescible or non-putrescible) must be classified and disposed of appropriately in accordance with the <b>NSW EPA Waste Classification Guidelines</b> .	Site Manager
9.	Ensure installation of calibrated flow measurement and level sensor equipment to BSC's sewer reticulation network is completed after a period of 2 months from the issue of an occupation certification. Instrumentation is to be installed at a predetermined location approved by BSC, for a period of twelve (12) months and shall record flow rate, flow volume, flow frequency, and flow depth in pipes and manholes Ensure a certificate of calibration for the measurement equipment is maintained and provided to council at the time of installation.	Site Manager

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Blayney Motel	
Responsibility	
Site Manager	
Site Manager Staff	
Staff	

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## 5.6 Signage management

## 5.6.1 OBJECTIVE

To ensure the signage associated with the site is pro-actively managed in order to minimise risks to staff members, guests, visitors and neighbours.

### 5.6.2 PROCEDURE

Nho	Site Manager and Staff (including contractors)	
Where	e Blayney Motel	
Nhen	As required or specified in this procedure	
Actions		Responsibility
1.	<ul> <li>Ensure that all necessary signage is installed and maintained at the motel site, including:</li> <li>Traffic flow signage and traffic flow arrows.</li> <li>Speed limit signage in the driveway and carpark restricted to maximum of 10 kilometres per hour (kph).</li> <li>"Trespassers will be prosecuted" signage clearly visible around entrance/exit points.</li> <li>Numbering for each unit and directional signage to each unit at Reception signage outlining operational hours and after hour clin/out (Reception Signage).</li> <li>Fire Exit door and Emergency Assembly Point signage.</li> <li>"Restricted Access" signage detailing areas restricted to staff an authorised personnel.</li> <li>CCTV operation signage.</li> <li>Signage reminding guests to secure and remove valuables from vehicles.</li> </ul>	rea. heck
2.	Maintain copy of the Final Fire Safety Certificate at the motel at all ensuring is available on request to relevant authorities. This certific must be prominently displayed within the office.	
3.	Inspect and record condition of signage as specified in the <b>Maintenance Schedule</b> .	Staff
4.	If a complaint is received in relation to signage, the Complaints management Operating Procedure must be followed.	Site Manager Staff
5.	Report any known or suspected signage issues to the Site Manage	r, Staff
<b>.</b>		

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## 5.7 Security management

## 5.7.1 OBJECTIVE

To ensure the motel remains secure and that unauthorised access is controlled.

### 5.7.2 PROCEDURE

Who	Site Manager and Staff (including contractors)		
Wher	Blayney Motel		
When	As required or specified in this procedure		
Actio	15	Responsibility	
1.	Ensure the motel site is monitored by CCTV 24 hours a day.	Site Manager	
2.	<ul> <li>Ensure all security features are maintained at all times, including:</li> <li>Security signage</li> <li>Fencing</li> <li>Lighting in the car park areas and entrance to the motel site</li> <li>Sensor lighting to all vestibule and walkways, including amenities</li> <li>CCTV in the office space and the motel site (where required)</li> <li>Back to base alarm system</li> <li>Communication systems</li> <li>Door locks for all motel rooms</li> <li>Key operated windows</li> <li>Single cylinder lockets (Australian Standards) that comply with the Building Code of Australia for main entry/exit doors to all buildings.</li> <li>Locksets on skylights (where applicable)</li> <li>Night safe if cash is kept on the premises</li> </ul>	Site Manager	
3.	Inspect and record condition of security features as specified in the <b>Maintenance Schedule</b> .	Staff	
4.	Ensure lighting in common areas is complaint with <b>AS4282-1997</b> (Control of the obtrusive effects of outdoor lighting) to prevent anti- social behaviour.	Site Manager	
5.	The use, possession, sale or supply of prohibited drugs is not permitted at the motel site. Staff will be provided with appropriate training for the identification of illicit substances and management of drug-related incidents, with details recorded in the <b>Staff Training Register</b> .	Site Manager Staff	
6.	Ensure weapons of any type (i.e. knives, firearms, etc.) are not located or used at any time at the motel site, unless in the possession of authorised security personnel or Police.	Site Manager Staff	
7.	If any theft occurs at the motel site, take all reasonable steps to assist the victim or relevant authorities. The incident is to be reported to the Site Manager and NSW Police.	Site Manager Staff	

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Who	Site Manager and Staff (including contractors)		
Where When		Blayney Motel As required or specified in this procedure	
8.	<ul> <li>If an incident occurs or complaint is received in relation to security, the following Operating Procedures must be followed:</li> <li>Emergency and incident management</li> <li>Complaints management</li> </ul>		Site Manager Staff
9.	Report a	ny known or suspected security issues to the Site Manager.	Staff
Recor	rds		
100		aintenance Schedule aff Training Register	

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## 5.8 Emergency and incident management

## 5.8.1 OBJECTIVE

To ensure that all incidents with the potential to impact adversely on the environment are investigated and documented, and that options for avoiding recurrence are implemented.

Who	Site Manager and Staff (including contractors)	
Where	Blayney Motel	
When	As required or specified in this procedure	
Actions		Responsibility
the	Report all incidents that may impact the environment or the safety of the locality immediately (once safe and practicable to do so) to the Site Manager.	
noti Add belo Blay Blay Stat	he event of an emergency, staff are to immediately call 000 and ify relevant emergency services. ditional contact information for local emergency services is provided ow: yney Fire Station – (02) 6368 2259 yney Police Station – (02) 6368 9599 te Emergency Service – 132 500 te Emergency Service (Blayney) – (02) 6368 3155	Site Manager Staff
matu noti incid • t • a • a • t Rele Ope A <u>po</u> an in ther sub: likel sub: inclu of a <u>Cau</u>	he event of a <u>pollution incident</u> that is <u>causing or threatening</u> <u>terial harm to the</u> environment, the following people have a duty to ify the pollution incident immediately after becoming aware of the ident. the person carrying out the activity an employee or agent carrying on the activity an employer carrying on the activity the occupier of the premises where the incident occurs evant definitions from the NSW <i>Protection of the Environment</i> <i>erations Act 1997</i> (POEO Act) are provided below. wollution incident is: incident or set of circumstances during or as a consequence of which are is or is likely to be a leak, spill or other escape or deposit of a <i>ostance, as a result of which pollution has occurred, is occurring or is</i> <i>ely to occur. It includes an incident or set of circumstances in which a</i> <i>ostance has been placed or disposed of on premises, but it does not</i> <i>lude an incident or set of circumstances involving only the emission</i> <i>any noise.</i> <b>15</b> <i>Meaning of material harm to the environment</i> <i>For the purposes of this Part</i> —	Those specified in Action 3

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Who		Site Manager and Staff (including contractors)	
Wher	e	Blayney Motel	
When	0	As required or specified in this procedure	
Actio	ns		Responsibility
	<ul> <li>a) harm to</li> <li>(i) it involution</li> <li>beings or second</li> <li>(ii) it resultation</li> <li>(iii) it result</li></ul>	o the environment is material if— ves actual or potential harm to the health or safety of human to ecosystems that is not trivial, or Its in actual or potential loss or property damage of an r amounts in aggregate, exceeding \$10,000 (or such other is prescribed by the regulations), and cludes the reasonable costs and expenses that would be in taking all reasonable and practicable measures to prevent, ir make good harm to the environment. e purposes of this Part, it does not matter that harm to the ent is caused only in the premises where the pollution incident uthorities are to be notified in the order listed below. <b>y Shire Council</b> nours contact (9:30am-4:00pm) 68 2104 ours/emergency contacts: c 0407 295 604 ering/Roads: 0409 307 041 ge: 0437962 505 <b>PA Environment Line</b> 131 555 <b>ry of Health – Bathurst Public Health Unit</b> (02) 6330 5880 c 0428 400 526 (After Hours) ork NSW 13 10 50 <b>d Rescue NSW</b> 1300 729 579 e situation warranted calling 000 as a first point of notification, t need to ring Fire and Rescue NSW again.	Responsibility
4.		est Holdings Senior Management of any incident as soon as it practicable to do so.	Site Manager
5.	Record all	incidents in the Incident and Complaint Form and the nd Complaint Register.	Site Manager
6.	Written de	tails of the notification must be supplied to the EPA within 7 e date on which the incident occurred.	Site Manager

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Blayney Motel As required or specified in this procedure Conduct periodic testing of this operating procedure (e.g. mock	Responsibility
	Responsibility
Conduct periodic testing of this operating procedure (e.g. mock	Responsibility
Conduct periodic testing of this operating procedure (e.g. mock	
Incidents). Mock incidents will include emergency situations which will ensure emergency preparedness. Any carrying out of mock incidents must include the provision of adequate advance warning to BSC, neighbours and emergency services. Responses to mock incidents are to be assessed by the Site Manager	Site Manager
	Site Manager
PoM (such as an exceedance of a capacity limit, security breach and/or failure to notify the relevant authorities as required), the Site Manager must ensure that an <b>Incident and Complaint Form</b> is completed, with the full particulars of the incident outlined. Incidents are to be recorded	Site Manager
be completed to determine causation and contributing factors and	Site Manager
	Site Manager
FIT	Any carrying out of mock incidents must include the provision of adequate advance warning to BSC, neighbours and emergency services. Responses to mock incidents are to be assessed by the Site Manager with any areas for improvement noted and implemented. Ensure that all staff are capable in the event of an emergency, as per <b>Management Scope of Works</b> and <b>Work Health and Safety Planning</b> . In the event of any incident involving a deviation and/or breach of this PoM (such as an exceedance of a capacity limit, security breach and/or failure to notify the relevant authorities as required), the Site Manager must ensure that an <b>Incident and Complaint Form</b> is completed, with the full particulars of the incident outlined. Incidents are to be recorded in the <b>Incident and Complaint Register</b> . Following any incident or deviation/breach of this PoM, a review must be completed to determine causation and contributing factors and determine any corrective actions. A summary of incidents, causes and corrective actions must be provided in the AR in accordance with <b>Section 6</b> . <b>ix K - Management Scope of Works</b> <b>ix L - Work Health and Safety Planning</b> <b>ix M - Incident and Complaint Form</b> <b>ix N - Incident and Complaint Register</b> .



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## 5.9 Complaints management

## 5.9.1 OBJECTIVE

To ensure any complaint received is recorded and kept correctly, investigated, and options for avoiding recurrence are considered and implemented.

## 5.9.2 PROCEDURE

Who Site Manager and Staff (including of		Site Manager and Staff (including contractors)	
Where	e	Blayney Motel	
When		As required or specified in this procedure	
Actions		Responsibility	
1.	website) a voicemail	Ensure that the public is aware of the Complaint Hotline (i.e. on motel website) and that it is operational 24 hours a day (i.e. answerable or voicemail is active). Complaint Hotline: 02 8604 0888	
2.	any prope	at the Complaint Hotline is provided to adjoining owners and rty within 50 metres of the property boundary, ensuring any landowner is identified and provided with the complaint	Site Manager
3.	Report an Site Mana	y complaint received as soon as reasonably practicable to the ger.	Staff
4.	and the second second second second	o all complaints received within 24 hours (where possible) or reasonably practicable.	Site Manager
5.	Incident a The da Contac Nature The ma	details of any complaint and subsequent investigation on the and Complaint Register, including: te and time of when the complaint was received t details of the complainant of the complaint anner in which the complaint was addressed er or not the complaint was resolved	Site Manager
6.		e all complaints received, identify the resolution and assess r avoiding recurrence.	Site Manager
7.		knowledgement and feedback to a complainant (and any lved stakeholders) as soon as reasonably practicable.	Site Manager
8.		summary of complaints, causes and corrective actions in the ordance with <b>Section 6</b> of this PoM.	Site Manager
Recor	ds		
		dent and Complaint Register	

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BLAYNEY MOTEL PLAN OF MANAGEMENT



## 5.10 Stakeholder management

## 5.10.1 OBJECTIVE

To ensure effective stakeholder management and access to information for the operation of the motel.

5.10.2	PROCEDURE

Who	Site Manager and Staff (including contractors)			
Wher	Blayney Motel	Blayney Motel		
When	When As required or specified in this procedure			
Actions		Responsibility		
1.	Ensure that the Annual Report (AR) is provided to BSC annually.	Site Manager		
2,	Ensure all records and information, including management practices, standards and procedures, are made available at the request of any relevant parties.	Site Manager		
3.	Ensure the motel is operated in accordance with <b>Work Health Safety</b> <b>Planning document</b> and any applicable Government standards for work health and safety.	Site Manager		
4.	Ensure an Annual Fire Safety Statement, certifying that each specified fire safety measure is capable of performing to its specification, is provided annually after the issue of the Final Safety Certificate, to BSC and Commissioner of NSW Fire Brigades	Site Manager		
5.	Following installation of any essential services in the building, ensure a Final Fire Safety Certificate and current fire safety schedule is provided to the Commissioner of Fire and Rescue NSW.	Site Manager		
Recor	ds			
Appe	ndix L - Work Health and Safety Planning			



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BLAYNEY MOTEL PLAN OF MANAGEMENT



## 5.11 Training

## 5.11.1 OBJECTIVE

To ensure all staff are trained in this PoM.

### 5.11.2 PROCEDURE

Site Manager and Staff (including contractors)	
Blayney Motel	
When As required or specified in this procedure	
Actions	
Ensure that all staff are trained in this PoM before commencing work at the motel.	Site Manager
<ul> <li>Ensure that all staff have received training in the following:</li> <li>Role and use of the PoM.</li> <li>Understanding their responsibilities under the PoM Operating Procedures.</li> </ul>	Site Manager Staff
All staff who complete training shall confirm their understanding of their obligations in this PoM by signing the <b>Staff Training Register</b> .	Site Manager Staff
Maintain records of training in the Staff Training Register.	Site Manager
	Blayney Motel         As required or specified in this procedure         Ensure that all staff are trained in this PoM before commencing work at the motel.         Ensure that all staff have received training in the following:         • Role and use of the PoM.         • Understanding their responsibilities under the PoM Operating Procedures.         All staff who complete training shall confirm their understanding of their obligations in this PoM by signing the Staff Training Register.

## 6. CONTINUAL IMPROVEMENT

## 6.1 Monitoring

The motel will be continually monitored to minimise any potential operational impacts. Specific monitoring requirements are addressed in the Operating Procedures of this PoM.

## 6.2 Review and performance reporting

An Annual Report (AR) detailing the operation of the motel will be provided to BSC each year.

T.I Hospitality will submit the AR to BSC annually from the first use of the motel (i.e. one year after commencement of the motel's operation and each subsequent year thereafter).

The AR will include:

- A detailed overview of the operation of the motel for the previous 12 months
- An assessment outlining how each requirement of the PoM has been met.
- Details of any PoM requirements not met.
- A record of any complaints received, including the time /date; the manner in which the complaint was address and whether or not the complaint was resolved.

The PoM will be regularly reviewed by the Site Manager to determine whether any updates are required.

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BLAYNEY MOTEL PLAN OF MANAGEMENT



Version history of the PoM is to be recorded in the Document Authorisation on p. i of this PoM. Revised versions of the PoM will be provided to BSC.

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# **APPENDIX A**

# **MOTEL MANAGEMENT SYSTEM**

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## **Everything you need to succeed**





Rate





Scheduled Reporting



Automated Invoicing

Marketing Management Campaign Tools

Booking Management

## Make the switch to an intuitive Hotel PMS

Our hospitality property management suite offers all the tools you need to easily manage your property from one platform. Streamline your operations, boost your revenue, increase your bookings and enhance the guest experience with NewBook!



Stay on top of your accounting Simplify your accounting processes with seamless integrations to your

favourite systems such as

Kero, MYOB, and



Streamline Daily Tasks

Oversee your day from the Today's Summary, which showcases your arrivals. departures, tasks, revenue earned, and more from the



Own your customer journey

Easily communicate with guests via 2-way SMS and email marketing, what's even better? Automate your communications to save



Keep your staff organized

Keep your front desk. housekeeping and maintenance team on track with assignable tasks updated in real-time, so you

newbook



Gareets

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# **APPENDIX B** RECEPTION SIGNAGE

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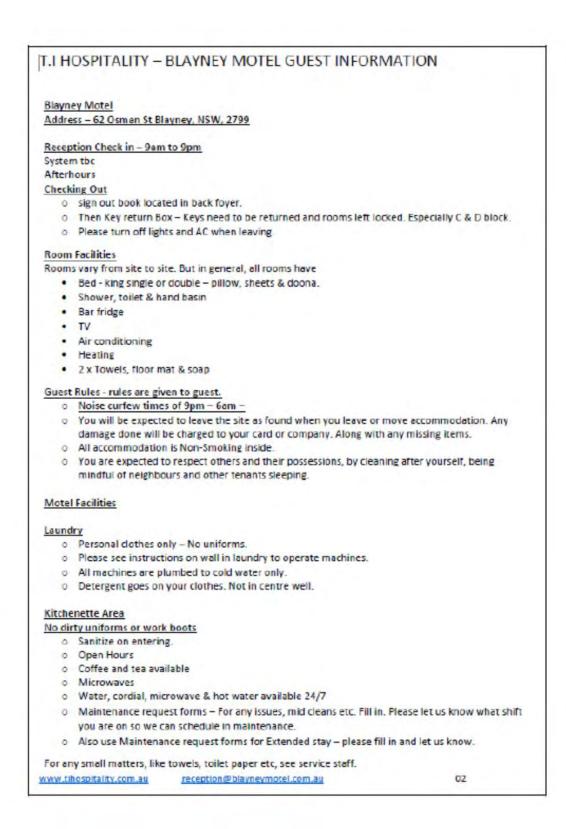
reception@blayneymotel.com.au

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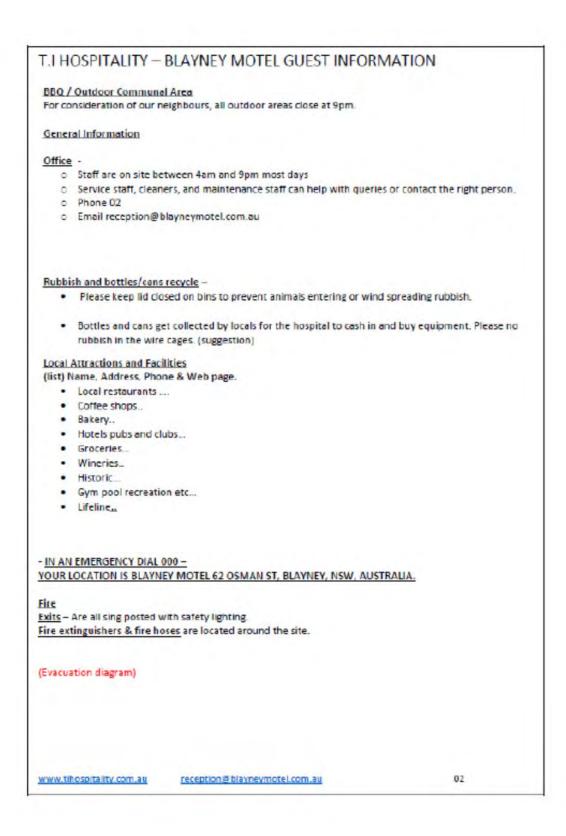


# **APPENDIX C** GUEST INFORMATION

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## **Blayney Motel**

Welcome to the T Hospitality Blayney Motel. For the safety and comfort of all residents you are required to observe the following:

- · Be aware of muster points and move to the closest one during any emergency.
- Alcohol is permitted in moderation, and residents have personal responsibility to comply with all required behavioral standards.
- T.I Hospitality strive to be environmentally sustainable in their operations please follow suit and utilize air-conditioning responsibly; turn off when you leave your room
- No smoking indoors, in doorways, or adjacent to any amenities. Smoking is permitted only in areas designated only
- · Illicit drugs are prohibited on site.
- · Weapons are prohibited on site.
- · No pets or wildlife are permitted on site. Do not feed wild animals.
- Offensive posters are not permitted on site.
- · Most rooms are single occupancy, and authorized personnel only are permitted.
- The Motel Manager (T.I) will require access to accommodation rooms for cleaning, inspections (including air conditioning/inventory checks and maintenance issues and Smoke detector compliance checks). T.I reserve the right to access any room to perform these functions. If during inspections the Motel Manager identifies privately owned equipment which, in the opinion of the Company is dangercus, it will be disconnected, and the owner will be notified in writing of the requirement to remove it from the room. Failure to comply could result in accommodation being withdrawn.
- No Tampering or modifying of smoke detectors.
- Do not enter another person's room without their permission.
- No loud music.
- · Be considerate of all guests and neighbors.

- No noise after 9.00pm. A quiet time is observed after these times in respect of guests and local residents
- · Vehicles must be parked in the designated areas only
- Maximum speed limit on premises is 10km per hour.
- Vehicles restricted to designated access road and car park areas only
- Rooms and communal areas must be kept tidy.
- Please use rubbish bins provided.
- No items are to be put up on walls in accommodation rooms.
- Laundry facilities are provided in the main building for laundry of person items only. No work clothes to be laundered at any time for any reason. (stage two?)
- Rooms are serviced on a weekly basis and need to be vacated to allow cleaning at agrood times
- At the end of your booking, please return your room key to the TI Hospitality reception staff on duty or the Key Return Box and sign yourself out with the date and time.
- No responsibility can be accepted for the loss or theft of personal belongings. You are
  encouraged to not leave high value items in your room.
- · Aways respect the rights of others; anti-social behavior will not be tolerated
- Please report any problems to the IJ Hospitality Motel Manager.

NB No cooking equipment is permitted in accommodation rooms at any time

## T.I Hospitality

## Blayney Motel - CoViD-19 Rules



In addition to the Motel Rules governing the T.I Hospitality, Blayney Motel, you are required to observe the following:

#### Everyone should practise

- 1. The current NSW Health orders and guidelines.
- 2. Good Hand and Cough Hygiene:
  - Wash your hands often with soap and water for 20 seconds, or use alcohol-based hand sanitiser (e.g. before and after eating, and after going to the toiliet).
  - Cover your cough or sneeze with a tissue and dispose of it straight away; wash your hands afterwards.
  - · Cough or sneeze into your (flexed) elbow.
  - · Cough away from other people.
  - Stay more than 1.5 metres away from people.

Avoid touching your face and mouth while out in public. Do not touch, kiss or hug people outside your immediate family.

- 3. Social Distancing:
  - avoiding crowds and mass gatherings where it is hard to keep a reasonable distance from others (about 1.5 metres)
  - · avoiding small gatherings in enclosed spaces (no more than 2)
  - keeping 1.5 metres between you and other people, where possible

#### Seeking medical advice

The coronavirus that causes COVID-19 can have a <u>range of symptoms</u> (from no symptoms at all to <u>pneumonia</u>):

- · fever (high temperature), sweats or chills
- <u>flu-like symptoms</u> such as <u>cough</u>, <u>sore throat</u>, <u>headache</u> and <u>fatigue</u> (tiredness)
- · shortness of breath
- runny nose

If you are experiencing any of these symptoms, immediately alert your Project Manager and contact CoViD-19 Hotline on 1800 020 080.

#### Isolation Regulations

Isolation or self-isolation is when you remain in your accommodation and avoid contact with other people. If you are asked to isolate, whether waiting for confirmation of testing or as a confirmed case, you cannot

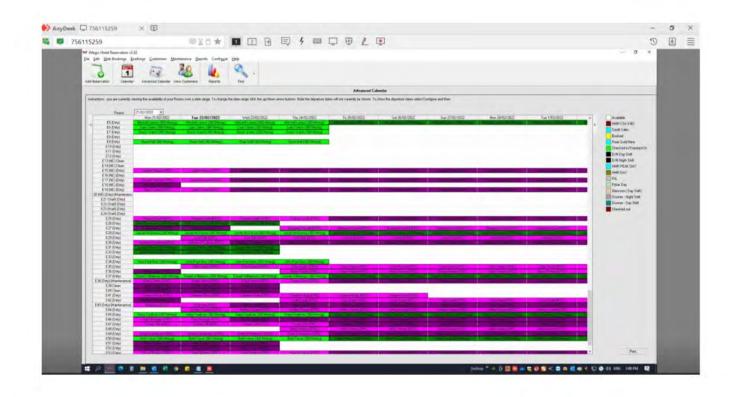
- enter the Common Areas (Blayney Motel) including the main building & BBQ area
- come within 1.5m of other people; you should avoid contact with other residents or staff.

Follow all directions of NSW Health and T.I Hospitality staff, it isolation becomes necessary.

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# **APPENDIX E** GUEST REGISTER

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# **APPENDIX F** MAINTENANCE SCHEDULE

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T.I HOSPITALITY - BLAYNEY MOTEL MAINTENA		And the second second	Conception of the		and a set			Ville Province	
WEEKLY	MONDAY	TUESDAY	WEDNESDAY	THURSDAY	FRIDAY	SATURDAY	SUNDAY	WEEKLY	MONTHL
RUBBISH		-						-	-
BINS EMPTIED AROUND SITE	0	0	0	0	0	0	0		+
RUBBISH PATROL	0	0	0	0	0	0	0		-
MAIN SITE, CAR PARK, SURROUNDING AREAS				0	0		0		+
EMPTY CIGARETTE BUTTS / ASHTRAYS	0		0		0				+
CLEAN RUBBISH STORGAE AREA	0	0	0	0	0	0	0		+
HOSE OUT BINS	0	0		0			0		+
RECYCLE BOTTLES AND CANS	v			v	-	-			+
RECYCLE BOTTLES AND CANS			-						+
GARBAGE PICK UP DAYS? TBC			-			-			+
GARBAGE PICK OF DATS? TBC		-				1			-
					2				
GARDENING		-						-	
WEEDING	0		-	-					
PRUNING	0	2	-						-
MOW AND WIPPER SNIP		-			0				-
COLLECT LEAVES	-	-			0				
WATER LAWNS (HOT WEATHER)			0						_
WATER PLANTS (HOT WEATHER)			0						-
CLEAN OUTSIDE DECKS AND FURNITURE	0	0	0	0	0	0	0		+
GENERAL		-							
COBWEBS REMOVAL		0		A	)	(pl	1		0
GRAFFITI INSPECTION / REMOVAL	0							0	
CLEAN / ORGANISE STORAGE AREAS				0					
CLEAN / ORGANISE WORK SHED		1				0			-
CLEAN GOLF CART / TROLLEYS		1			1	0			
HOSE OUT BINS AS NEEDED		5 ·····				0			
BRUSH DOWN WINDOWS		0		-					
CLEAN FLY SCREENS		0			1		1	-	
SWEEP PATHWAYS				0	1				
RAKE UP CIGARETTE BUTTS AND BOTTLE LIDS				0					
OTHER -		1			1		d		
PACK AWAY DELIVERIES									
ANNUAL MAINTENANCE SCHEDULE	USED DAILY	MONTHLY	3 MONTHS	6 MONTHS	ANUALLY	DESCRIPTION			+
- Roadways	0	0				Inspected, repai	ired as required		-
- Fencing,		0		1		Inspected, repair			
Lighting	0	0				Inspected, repai			-
- Smoke Detectors,		-		0		Inspected, repai		+	1
CCTV	0	-			0	Inspected, repai			-
Alarms	0				0	Inspected, repai			-
- Signage		0		11.		Inspected, repai			+
- Communication Systems	0					Inspected, repai			-
Security screen doors	0	0	1			Inspected, repai			-
Glass/glazing for windows	0	0				Inspected, repair			
Door locks	0		1	0		Service and silic			-
<ul> <li>Night Safe (if cash kept on premises)</li> </ul>	0		-		-	Used daily, repa		-	+
Access to Manholes	0				0	inspected and se			+
Effluent Systems (once installed)	0	-	0		U	Serviced quarter		d inhotwoor	+
concent systems (once installed)	v	-				as a matter of u			

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# **APPENDIX G** CLEANING SCHEDULE

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#### Daily Dining Room CLEANING CHECK LIST

W/E

W/E

	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday	Sunday
Wipe Tables / Chairs down	0	0	0	0	0	0	0
Wipe in & out of fridge	0	0	0	0	0	0	0
Wipe over Urn / Drain Area / Wall	0	0	0	0	0	0	0
Wipe all benches / bottom / top shelf	0	0	0	0	0	0	0
Clean Cordial and Water containers/refresh	0	0	0	0	0	0	0
Wipe over entry doors / Glass in Doors	0	0	0	0	0	0	0
Empty & clean waste Bins - Reline	0	0	0	0	0	0	0
Fill Biscuits/ wipe over container	0	0	0	0	0	0	0
Check/ Restock Foam Cups	0	0	0	0	0	0	0
Wash Tea towels	0	0	0	0	0	0	0
Clean Hand washing sinks in front entrance	0	0	0	0	0	0	0
Check Hand towels / Fill Soap Dispensers	0	0	0	0	0	0	0
Vacuum / Mop Floors			11.000				

#### DAILY KITCHEN CLEAN CHECK LIST

Monday Tuesday Wednesday Thursday Friday Saturday Sunday Tidy fridges. Clean Organise shelves Remove unlabelled items Wipe over fridge door, handle C Clean sink area and Stainless-Steel Benches Mop Floor Fill Up Tea, Coffee, Sugar, milo Fill Salt, pepper, napkins Wipe and Clean Toaster o Empty rubbish bins Wash & Reline Bins Wash Mops/ Buckets/ Brooms Wipe over Air conditioners / Clean Filters Wash Tea towels o Clean Dishwasher. Plates, Cutlery wash and put away Monitor Daily Temperature Log Monitor and sign off Sanitiser Form Ó Clean walls Fill Up Soap when Needed, and Sanitiser and Hand Towel Clean Shelving top & bottom Unpack Deliveries Same Day C o Tidy up Corner Store Area and keep it Clean and in Order o Clean coffee Machine with Chemical Clean Insect Zapper Clean Microwave Check Hand Towel paper Check Soap dispenser - full & clean 

## **Reception Area**

	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday	Sunday
Wipe over sliding door handle & glass	0			0	0	0	0
Clean and sanitise bench tops	0	0	0	0	0	0	0
Wipe and Sanitise chairs and tables	0	0	0	0	0	0	0
Check and clean light fittings	0	0	0	0	0	0	0
Wipe over Vending Machine	0	0	0	0	0	0	0
Empty Rubbish Bins & Reline	0	0	0	0	0	0	0
Sweep and Mope the floor	0	0	0	0	0	0	0
Sanitise keys box	0	0	0	0	0	0	0

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#### Male & Female BATHROOM CLEANING CHECK LIST

W/E:

		Monday	Tuesday	Wednesday	Thursday	Friday	Saturday	Sunday
Clean and Fill Check Hand Towel		0	0	0	0	0	0	0
Clean Sink		0	0	0	0	0	0	0
Soap Dispenser - Filled & Clean		0	0	0	0	0	0	0
Mirror wipe		0	0	0	0	0	0	0
Toilet Walls & Door - clean & mark free ( 2 Ro	olls / Cubical )	0	0	0	0	0	0	0
Toilet clean	Seat	0	0	0	0	0	0	0
	Bowl	0	0	0	0	0	0	0
	S Bend	0	0	0	0	0	0	0
Light cover / Switches clean		0	0	0	0	0	0	0
Floors Clean / Mopped - including corners		0	0	0	0	0	0	0
				-				

# Outdoor Area Cleaning Forms CHECK LIST,

#### W/E

	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday	Sunday
Clean and Pathways	0	ster, ob. to		1 · · · · · · · · · · · · · · · · · · ·	2011 A. 10		
Pick up all rubbish around the whole site	0			0		1.1	0
Empty all bins (big bins and small bins)	0			0			0
Pull the weeds out	0	(	3			1	
Clean BBQ Area, Stainless Steel Wall and BBQ	0		· · · · · · · · · · · · · · · · · · ·				
Clean Outdoor furniture	0	1			1		
Empty All Cigarette ashtrays	0						



T.I Hospitality Policy and Procedures Manual

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# **APPENDIX H** ROOM CHECK SHEET

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# T.I Hospitality

House Keeping - Room cleaning check sheet.

Date		-		4
Room Number	2	-		
Clean / Change / Check	Yes	No	N/A	Comment
Sanitise	-		-	
Spray sanitizer on all handles and hard surfaces.	-	_	-	
Bathroom	-	-	-	
Shower (using Bleach) Scrub walls with spray n wipe or jiff if black dirty marks				
Shower Curtain check /change if necessary				
Toilet - Spray n wipe , wipe and toilet brush clean		-		
Sink - Spray n wipe, scrub, wipe. Bleach in drain hole.				
Mirror - wipe				
window sill - wipe				
walls	1			
floor / in corners and behind toilet sweep			1	
light / fan -check working and leave off				
Rubbish bin - empty, clean, new bag				
2 rolls toilet paper				
1 towel hanging neat on towel rail	1.1			
Room				
If it shouldn't be there remove it!				
If it of value or not sure - remove it bag and label room & date and put in lost property				
Remove all rubbish!				
light / fan -check working and leave off				1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1
Check smoke alarm to see if it has tape over the lights, working order				
AC - vent clean / turn off / AC remote		1		
Refrigerator - clean / perishable food discarded /check behind				
Microwave - cleaned				
Bed - change sheets				
Change pillow case				
change doona cover				
Clean under bed		1		
1 towel, 1 bath matt, 2 soap and TV remote displayed on bed				
TV - Wipe down, turn off, check remote works.				
Desk / TV Cabernet / furniture wipe down /chairs				
Kitchen - wipe down, clean as necessary.	1	1	1	
floor / in corners and behind toilet sweep				
Cobwebs		1		
Mop Floor on way out.	1	1	-	

cleaned by: Please print names. This is Page No. 295 of the Attachments of the Extraordinary Council Meeting of Blayney Shire Council held on 18 December 2024

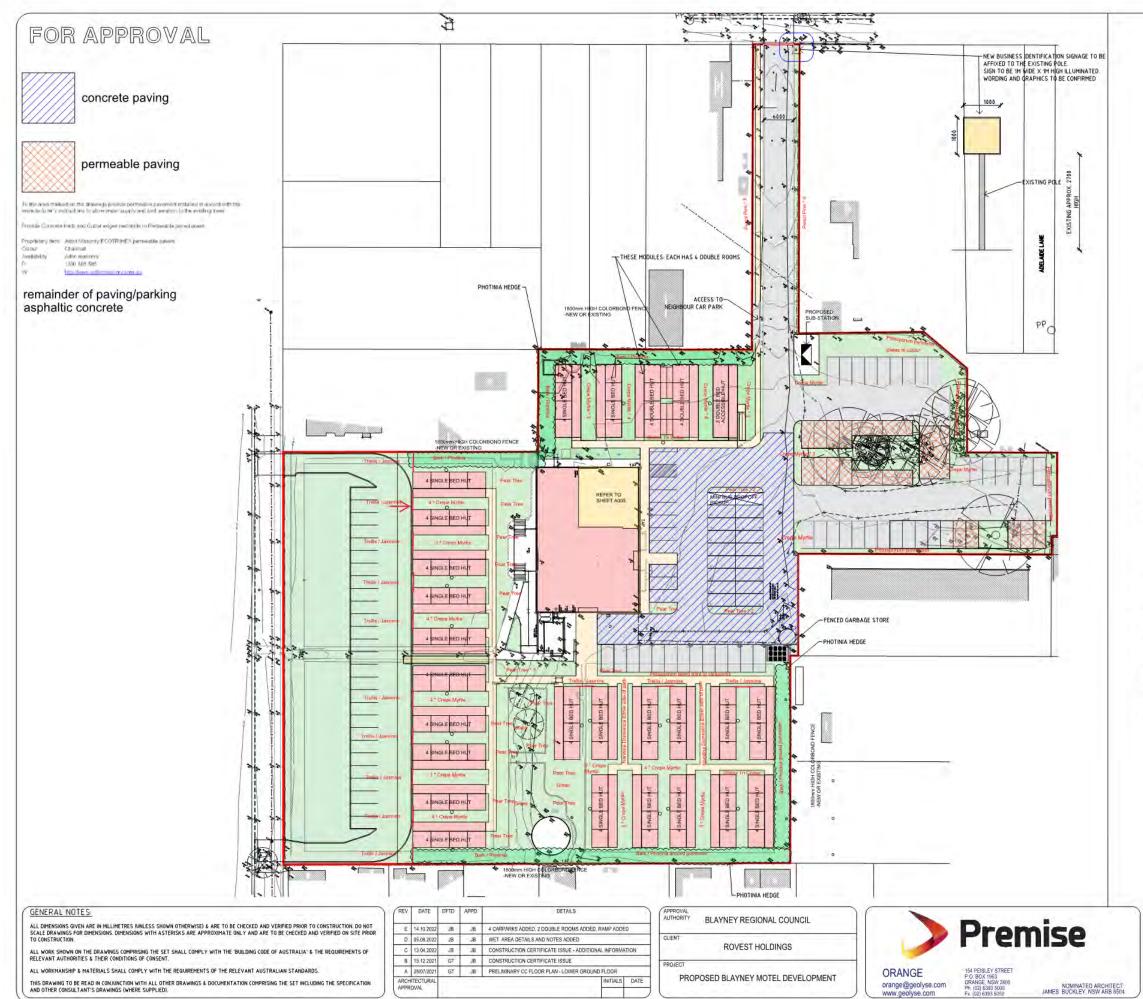
Pack List CLEANING OF ROOMS White bag with 2 toilet rolls & 2 soaps x amount of rooms on list (+2 spares) Jif for cleaning of toilet bowl Spray n Wipe for toilet seat, under seat, lid & base of toilet Spray n Wipe for vanity unit, spot cleaning on walls, desk & other hard surfaces Glass cleaner for windows and mirrors Floor cleaner in bucket for floors + sugar soap or Jif & soft scourer for stain removal CLEANING KIT Bucket, mop, floor cleaner and clean hot water Broom plus Dustpan & brush Soft scourer, scrubbing brushes Spray n Wipe spray bottle Bleach spray bottle Glass cleaner spray bottle Squeeze Jif bottle Glen 20 spray Paper towel & blue wipes

ORDER OF CLEANING

Check air con filters & tap filter outside or wipe filter over with moist chux wipe Check smoke alarm to see if it has tape over the lights Strip sheets & all linen – put outside + empty garbage from bin Wipe over desk, robe, fridge, tv & spot clean walls & doors Sweep floor & make bed Clean bathroom (attention to toilet base, under seat & the lid, wipe inside vanity cupboard, the shower walls & base + glass doors, hair in bathroom) Mop on way out. If it shouldn't be there clean it, wipe it or remove it! This is Page No. 296 of the Attachments of the Extraordinary Council Meeting of Blayney Shire Council held on 18 December 2024

# **APPENDIX I** ON-SITE LANDSCAPE PLAN

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#### LANDSCAPE NOTES

PLANTING NOTES

PLANTING HOLES

PLANTING HOLES Generally in planted areas, the diameter of planting holes shall be twice the diameter of the container and the depth equal to the height of the container. A slow release fertilizer, shall be used at the recommended rate per hole and shall be placed at the bottom of each hole before planting. Form a shallow saucer like depression in soil around the base of plant.

mercentED TOPSOIL For planting and the turf areas use a suitable garden plant growing mix to a depth of 100mm to all planting areas and 50mm deep over the turt areas, mixed well with existing topsoil to a depth of 200mm for the planting area only. Ensure the soli dorshe raised planter is suitable for its purpose which may be different to the soli used elsewhere.

PLANTING MATERIALS All plants shall be true to name and size as scheduled, in well developed healthy condition, free from insect and diseases, with well established roots. The minimum sized pot shall have a diameter of 200mm which refers to the capacity of the pot and is standard within the nursery industry.

#### PLANTING

PLANTING Set out plants in accordance with the plan. Minor adjustments may be necessary. Planting shall not be carried out in dry soil or in extreme weather conditions. The root system must be moist before planting to ensure the turgidity. The plants shall be removed from their containers with as ittle disturbance as possible to the root system. Plants should be planted at the same depth as the plants were in the containers to allow for a shallow sauser to be formed around the plant to all water penetration. Avoid hilling up of soil around young plant stem. Firm soil around the root ball and thoroughly soak the areas after planting. On completion, cultivet, rake multion and leave all garden areas in a neat and tidy condition. Remove all plant containers from the site.

MULCH Spread mulch to all mass planted areas to an even depth of 75mm on the surface of the topsoli so that refinished levels are flush with surrounding kerbs, edges or paths. Care shall be taken not to mix soil and mulch together. The material to be used shall be graded pine bark.

Rotary hoe to a depth of 150mm over the areas to receive turt. Spread 50mm depth of imported soil, level and compact lightly prior to laying turf. The turf to be used is to be Tall Fescue.

MAINTENANCE Replace any plants that fial within the first three months. Water each week the equivalent of 25mm of rain to ensure plants establish over the first 3 months. Remove weeds growing within the garden areas. Maintain lawn during the construction period with regular watering and mowing if required, keeping the tawn healthy and weed free

SELECTIONS All hedging shown to be Red Fence<sup>TM</sup> Photinia x frased 'CP01

PLANTING DENSITY 2 plants per linear metre for hedging. - 160 l/m of hedging shown - 380 plants

AWING		
AWING		
AAMING	SITE PLAN STAGE 01	
	SITE PLAN STAGE 01	
OJECT NUMBER 220022	SITE PLAN STAGE 01	
	DRAWING FILE 220022_05D_1_A001_A013.dwg	SET
COJECT NUMBER 220022	DRAWING FILE 220022_05D_1_A001_A013.dwg	set 05E

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# **APPENDIX J** STAFF TRAINING REGISTER

## Training record register

Vorker's name:			Job title:			Start date:			
Training provided	Reason for training	Duration	Who provided training	Location	Date completed	Certificate/ licence type, number and expiry date	Signature of worker	Competent Y/ N	Signature of manager
					_				
				-					
				_					
			12		-				
							1		

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## **APPENDIX K** MANAGEMENT SCOPE OF WORKS

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### **Blayney Motel**

### Management Scope of Works

#### Office scope:

- Bookings -managed through emails, rosters booking systems.
- Check in for guests, have rooms and key ready.
- Daily in-house report for guests.
- Invoices ensure all guests /booking are invoiced appropriate.
- Maintain up dated details of changes to bookings.
- Manage long term guest and mid-cleans.
- Collect all daily/weekly cleaning sheet, temperature log and file them.
- Be on call 24/7 be available on site as required.
- Staff Rostering / manage staff costs / utilise staff to the best ability.
- Staff Training
- Induct New Staff.
- Make sure staff are trained properly before stating their role.
- Explain company rules, guidelines how the operation runs.
- Staff Training, maintain on going staff training, improving skill sets and helping staff set goals
  and the achieve them.
- Keep Staff Trained in healthy and safety and update their training as required.

#### Kitchen:

- Manage Deliveries
- Check temperature logs and cleaning list/keep on file weekly /attend to any incident that may arise.
- Make sure all Cleaning is done to standard
- Manage stock per levels and ordering.
- Quality Control.
- Maintain cleaning store areas
- Follow and maintained cleaning schedules for the kitchen area & sanitising logs.

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### **Blayney Motel**

#### **House Keeping:**

- Make sure rooms are cleaned to the level required, know health regulations.
- Check daily and file weekly cleaning sheet.
- Submit cleaning list of which rooms need to be cleaned, the mid-clean and full clean, maintain a system showing clean rooms for walk in guests.
- Manage Cleaning Staff,
- Manage request forms for maintenance required in the rooms.
- Rotate the linen.
- Stock control for linen.
- Ensure the housekeeping room is always tidy, organised and kept clean.
- Ensure all dirty linen is packed away in appropriate area.
- Ensure dirty doona covers are rotated and cleaned.
- Manage cleaning of kitchenette area, recreation areas, , loading docks, store, warehouse
  office and furniture.
- Ensure Sanitizer, soaps and hand towels are always available.

#### Maintenance:

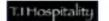
- · Control and manage the grounds by weeding, cleaning, mowing grass and whipper snipper
- Follow on maintenance schedule.
- Check if bins are emptied /grounds clean.
- Keep record of maintenance requests.
- Manage equipment and stock required for maintenance staff to achieve their jobs
- Be hands on in management.
- Taking appropriate actions to fix, organise trade / repair or report to head office, follow up
  on it if its not done in appropriate time frame.
- Keep record of warranty for equipment's and appliances

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## **APPENDIX L** WORK HEALTH AND SAFETY PLANNING

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T.I Hospitality - Blayney Motel



#### WHS Planning

#### **Every Quarter**

- H&S Workgroup/Committee will hold three meetings
- Heads of Department will conduct/organise risk assessments
  - 1. Admin
  - 2. House keeping
  - 3. Maintenance
- H&S Workgroup/Committee will review risk assessments, incident reports, hazards register, first aid register
- First Aid Kits checked and restocked as appropriate
- Personal Protective Equipment will be checked and replaced as appropriate
- Emergency and lockdown procedures drills will be conducted and debriefed
- · WHS training will be conducted as appropriate

#### Every Year

- H&S Workgroup/Committee will develop year plan (for following year) including job and workplace redesign, inspection schedule, WHS training etc
- Property / Maintenance will develop preventative maintenance schedule for equipment, buildings and grounds
- Training needs will be reviewed
- WHS laws, latest information and technical innovations will be reviewed
- Annual report of risk assessments, incident reports, hazards register, first aid register will be prepared and reviewed by management.

#### Ad hoc

- · Induction training will be provided to new workers
- Procedures will be reviewed and amended as appropriate, in the event of an incident
- Incidents will be investigated
- Hazard reports will be received, and hazards corrected and/or feedback provided
- Plant and equipment, buildings, grounds, personal protective equipment will be fixed or replaced as appropriate on report of faults/breakages
- RTW plans will be reviewed on an ongoing basis by RTW coordinator

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## APPENDIX M INCIDENT AND COMPLAINT FORM

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	۵	
BLAYNEY MOTEL	<	T.I HOSPITALITY

#### INCIDENT REPORT FORM

This form must be completed by the Manager/Supervisor and Employee for all types of incidents.

	Date:_/_/
Address: 62 Osman St Blayney, NSW	
Phone:	
Manager Name:	
Person reporting Incident:	
Form Filled out by:	
2 INCIDENT TYPE	
Injury	and a later star at the
Lost Time Injury:  Medical Treatment Injury: I Sickness: Near Miss:	First Aid Treatment Injury: 🗆
All injury sustaining incidents are either First Aid or I certificate for days off is received. (Management mu	
Noise	
Management Complaint: 🔲 Guest Complaint: 🗖 E	External Complaint: 🗆
Property Damage	
Room: Communal Area: Car Park: Main I	Building: 🗆 Other: 🗆
INCIDENT DETAILS	
Day of Incident: Date: / /	Time: AM/PM
When was the incident first reported? Date:/	
To whom was the incident reported?	
to anone and the inclusion reported i	
Witness:	

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BLAYNEY MOTEL	T.I HOSPITALITY
4 DESCRIPTION OF INCIDENT (ATTACH DIA NECESSARY)	GRAMS/ PHOTOGRAPHS IF
Where did the Incident occur?	
5 ACTIONS TAKEN	

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# **APPENDIX N**

### INCIDENT AND COMPLAINT REGISTER

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BLAYNEY MOTEL	T.I HOSPITALITY
INCIDE	NT REPORT FORM
This form must be completed by the M types of incidents.	tanager/Supervisor and Employee for all
GENERAL DETAILS	
ite: Blayney Motel	Date:_/_/
ddress: 62 Osman St Blayney, NSW	
hone:	
Aanager Name:	
Person reporting Incident	
orm Filled out by:	
ost Time Injury: 🗆 Medical Treatment I	Injury: C First Aid Treatment Injury: C
lickness: 🗆 Near Miss: 🗆	inst Aid or Medical Treatments until a Doctor's gement must be notified ASAP) plaint: External Complaint:



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Project	62 Osman St, Blayney
Report	230396C-Section J-J1V3 (NCC2022)
Reference	230396C-J1V3-r2
Date	06/10/2023
Client	Rovest Holdings Pty Ltd
Contact	Raine Whittle
	Raine@divgroup.com.au

Credwell Consulting Pty Ltd Suite 6.03, Level 6, 233 Castlereagh Street, Sydney NSW 2000 P. (02) 9281 8555 E. Info@credwell.com.au W. www.credwell.com.au This is Page No. 314 of the Attachments of the Extraordinary Council Meeting of Blayney Shire Council held on 18 December 2024

Ref: 230396C-J1V3-r2

62 Osman St, Blayney

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Annexure D – Simulation Results	23



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#### **Document Control**

Reference/Revision	Date	Description	Section J Energy Efficiency Assessment
230396C-J1V3-r1	04/40/2022	Prepared by	Reshma Punjabi ESD/ Sustainability Engineer
Draft Issued for review	04/10/2023	Approved by	Padraig Healy Director
		Prepared by	Jesh
230396C-J1V3-r2 Final Issued	17/10/2023		Reshma Punjabi ESD/ Sustainability Engineer
,		Approved by	Pádrais Healig
			Padraig Healy Director



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#### Disclaimer

This Section J, J1V3 report outlines the estimated energy performance of the building based on dynamic energy modelling based on standardised inputs. The building is modelled on the idealised representation of the buildings components and its systems and cannot fully replicate the nuances of the actual building such as off axis scenarios, controls, and usage patterns of the building services in operation. Thus, the translation of these results is only a predictor of possible energy performance of the building and should not be regarded as an actual energy estimation.



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#### **Executive Summary**

Compliance with performance requirements J1P1 of Section J of the NCC 2022 is achieved using the J1V3 Verification Method as the annual carbon emissions of the proposed development using the Proposed Building fabric and Reference Services (Model 2) is less than the annual energy consumption for the Reference Building (Model 1) (See Annexure E).

	Total Annual Energy Consumption (kg C2/yr)	Compliance
Model 1 - Reference Building	472,415	
Model 2 - Proposed Building with Reference Services	465,716	Yes

#### Solar Panel System output to have a minimum 134 MWh peak are required to comply.

It is recognized that Blocks 1 to 24 have been constructed according to the information provided in the referenced design documents. the following measures were considered which complies with this J1V3 Performance Solution and thereby Section J of the NCC 2022.

Note: The construction parameters provided below were used in the development of the Proposed Model (Model 2) and to represent the existing construction specifications. Credwell is not accountable for ensuring the uniformity of the existing construction or compliance with NCC Section J 2022 clauses.

Section	Building fabric on envelope	Compliance	
J3	Energy Efficiency	Thermal Breaks	
	Roof solar absorptance	The upper surface of a roof must be not more than 0.45.	
	Roof (Metal roof)	Min total R6.65 for a downward direction of heat flow.	
	External Wall (Metal Wall)	Min total R-value of R1.31 including thermal bridging with Insulation R-Value of R2.0.	
J4	Solar Admittance of Externally Facing Wall- Glazing Construction	Must not be greater than 0.07	
	Suspended Floor	Suspended floors: Total R-Value of R1.86, Additional R1.5 insulation	
	Glazing	Total (Including frame) U-value/SHGC: All glazing U-value 1.78 & SHGC 0.55 or less.	
J5	Building Sealing	Building Sealing	
J6	Air-Conditioning & Ventilation Systems	A/C & Ventilation	
J7	Artificial Lighting & Power	Artificial Lighting	
J8	Heated Water Supply and Swimming Pool & Spa Pool Plant	Heated Water	
Ja	Energy Monitoring and on-site distributed energy resources	-20% of 81 total carparking spaces must have 16 EV carparking provisions with 1 electrical distribution board. -The main electrical switchboard must contain at least two empty three-phase circuit breaker slots and four DIN rail spaces labelled to indicate the use of each space for: a solar photovoltaic system; and a battery system Energy Monitoring	



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#### Introduction

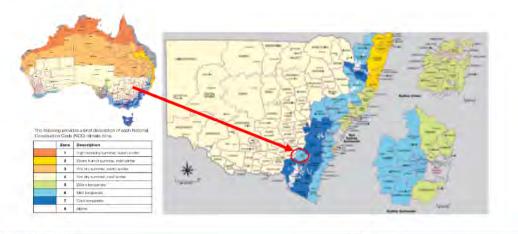
Credwell Energy has been engaged to assess the proposed development for Rovest Holdings Pty Ltd at 62 Osman St, Blayney, against the Section J requirements of the National Construction Code 2022 using the J1V3 Verification Performance Pathway.

#### **Reviewed Documentation**

This assessment is based on drawings and files:

Drawing Name	Number	Revision
General Notes & Wall Type Legend	A002	G
Pre-Development Site Plan	A003	G
Existing Site Plan	A004	G
Existing Building-Lower Ground Floor Plan	A005	G
Internal Elevations Sheet 1 of 3	A006	G
Internal Elevations Sheet 2 of 3	A007	G
Internal Elevations Sheet 3 of 3	A008	G
Joinery Details	A009	G
Door and Window Schedule	A010	G
Electrical and Mechanical Drawings	A011	G

#### **Project Information**



Climate Zone	Council
Climate 7	Blayney Local Gov Area

#### Building NCC Classification

Building Class	Use	Area	
3	Detached motel rooms	GF	

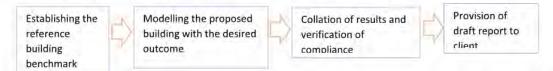


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#### Section J - J1V3 Performance Solution Methodology

This section specifies the methodology used to model both the reference and proposed buildings.



For this development compliance is verified when it is determined that the annual GHG emissions consumption of the proposed building with its services is not more than the annual GHG emissions of a reference building when:

i. The proposed building is modelled with the proposed services and

ii. The proposed building is modelled with the same services as the reference building.

AND

For the proposed building a thermal comfort level measured in PMV (Predicted Mean Vote) must be between -1 to +1 for not less than 95% of the floor area of all occupied zones for not less than 98% of the annual hours of operation of the building.

#### Model 1: Reference Building with Reference Services

Model 1 is based on the current architectural design of the building. The inputs for the building fabric and HVAC building services are in accordance with the min DtS NCC 2022 SJ Amendment 1 Volume One requirements.

#### Model 2: Proposed Building with Reference Services

Model 2 is modelled on the same architectural design as model 1 but with the proposed changes to the building fabric (thermal properties, shading etc). The building services will be modelled the same as model 1.

#### Model 3: Proposed Building with Proposed Services

Model 3 is modelled on the same architectural design as model 1-2 and with the proposed changes to the building fabric (thermal properties, shading etc) as model 2 however the building services will be modelled as per the proposed design.

*N.B - If the proposed services are assumed to meet the min DtS requirements or better then only Models 1 & 2 are required to be simulated.* 

The annual energy consumption of the proposed building in (a) may be reduced by the amount of energy obtained from –

- i. An on-site renewable energy source; or
- ii. Another process as reclaimed energy.



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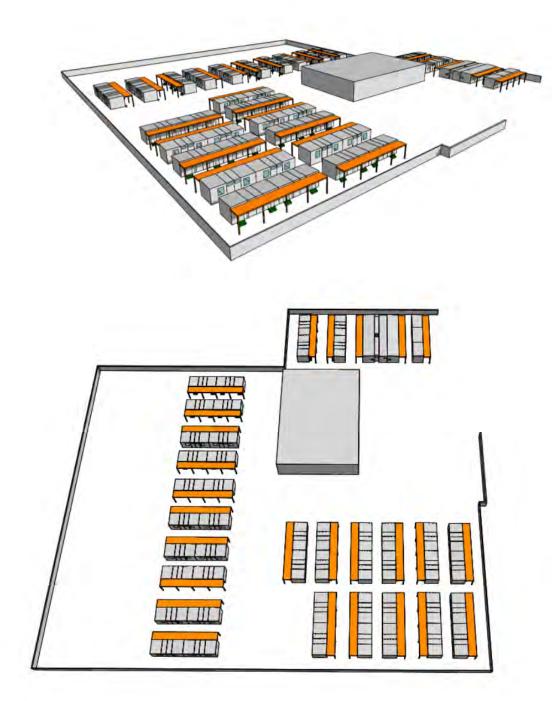
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#### **Modelling Software**

The annual GHG consumption has been calculated using a simulation software that complies with the ABCB protocol and ANSI/ASHRAE Standard 140 for Building Energy Efficiency, namely in this instance IESVE 2021.



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Modelling Inputs	
Below is a detailed list of the inputs for the J	1V3 modelling.
Reference & Proposed Inputs The annual GHG Emissions for the reference as per Spec S34C4 using the same:	ce building and the proposed building has been calculated
<ul> <li>Annual GHG calculation method</li> <li>GHG emissions factors</li> <li>Location</li> <li>Adjacent structures and features</li> <li>Environmental conditions</li> <li>Orientation</li> <li>Building form</li> <li>External doors</li> <li>Testing standards</li> <li>Thermal resistance of air films</li> <li>Dimensions of all walls</li> <li>Quality of insulation</li> <li>Assumptions and calculations relating to A/C zone boundaries</li> <li>Floor coverings</li> </ul>	<ul> <li>Internal artificial lighting</li> <li>Internal heat gains</li> <li>A/C system configuration</li> <li>Daily and annual occupancy and service profiles</li> <li>Hot water system</li> <li>Infiltration values</li> <li>Range and type of services</li> </ul>

#### Internal heat gains for appliance and equipment

Application	Internal sensible heat gain	
Class 3 (sole-occupancy unit)	160 W per room	

#### Occupant Density

The occupant density was calculated based on Table D2D18 of NCC 2022 which was consistently used throughout modelling the design requirements:

Type of Use	Area per person	
Hostel, hotel, motel, guest house	15 m <sup>2</sup>	

#### Heated Water Supply Consumption Rates

Domestic hot water energy consumption is assumed to be the same for both DtS and proposed buildings and therefore is omitted from the energy modelling.

Lift & Escalators- N/A



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#### Input Parameters for Building Simulation

The following table outlines the properties of the building fabric elements for both the reference and proposed buildings. The thermal performance of the proposed building fabric has been estimated based on the design intent. The properties of the reference building are in accordance with BCA DTS as per Specification S34C2. To meet compliance with Section J-J1V3, all façade total system U-values and SHGCs must be equal to or less than those stated, and all R-values must be equal to or greater than those stated values.

The glazing specifications of the facade which are specified below were calculated using Method 2 for U-value and Method 1 for SHGC which are in accordance with Specification 37. These DtS façade calculation can be found in Appendix B.

Part	Element	Reference Building (Model 1)	Proposed Building with Reference Services (Model 2)
	Roof Solar Absorptance (-1)	Must not be greater than 0.45.	0.45
	Roof (Metal Roof)	Min Total R-Value of R3.70.	Total R-Value of R6.65.
	Roof Lights Total system U-value (frame & glass) & SHGC	N/A	N/A
J4. Building Fabric	External Wall Solar Absorptance	0.60	0.60
	External Wall (Metal Wall)	Min Total R-Value of R2.8.	Total R-Value of R1.31 inclusive of R2.0 insulation
	Solar Admittance of Externally Facing Wall- Glazing Construction	Must not be greater than 0.07.	0.07.
	Shading	Modelled without any shading.	Modelled as per design
	Suspended Floor	Total R-Value of R2.0.	Total R1.86 inclusive of R1.5 insulation
	Glazing SpecificationTotal system U-value (frame & glass) & SHGC	U-Value: 5.8 SHGC: 0.75	U-Value: 6.4 SHGC:0.55

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	Min Cooling EER	2.90	2.90
	Min Heating COP	2.90	2.90
J6. Air- Conditioning & Ventilation Systems	Cooling and Heating Fuel	Electricity	Same as Model 1
	HVAC System Type	VRF/VRV VAV and Reheat Mutli-Split Ducted A/C	Same as Model 1
	Temperature Set Points	21-24 CBD for conditioned spaces & 18- 25 CBD for conditioned spaces with transitory occupancy	Same as Model 1
J7. Artificial Lighting & Power	Artificial Lighting	Must be the maximum illumination power density without applying the control device adjustment factors.	Same as Model 1



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#### Results

#### Annual GHG Emissions

The comparison between the Reference Building (Model 1) and Proposed Building with Reference Services (Model 2) are shown below.

The annual energy consumption for the models can be found in Appendix D.

		GHG Emissions	
Flement	Energy Source	Model 1 Reference Building with Reference Services	Model 2 Proposed Building with Reference Services
Heating	Electricity	400 MWh	553 MWh
Cooling	Electricity	10 MWh	7 MWh
Lighting	Electricity	17 MWh	17 MWh
Other Demand	Electricity	16 MWh	16 MWh
Total	Electricity	491 MWh	661 MWh
PV Generation	Solar	- 35	134 MWh
NET T	OTAL	472,415 kg CO2/yr	465,716 kg CO2/yr

#### Thermal Comfort Analysis

To verify the model, the comfort analysis was calculated through Predicted Mean Vote (PMV) in accordance with Specification 34 Clause in the temperature of the Reference Building must be within the range of 18 CDB to 26 CDB for 98% of the plant operation time.

The hours modelled have been determined as the peak hours of operations which are defined as the number of hours in the building when the occupancy is greater than 20% of the peak occupancy.

### The thermal comfort analysis results referenced in Annexure D for the SOUs shows an average PMV of 99.7 for peak occupancy hours of 12am to 10am and 4pm to 12am.

#### Conclusion:

The existing thermal properties of the current built construction of the detached Class 3 Buildings was replicated in Model 2 and Model 3. Whilst Model 1 was modelled as per DTS requirements.

The table above demonstrates compliance with the NCC 2022 Section J since the estimated annual GHG Emissions of Model 3 is lower than Model 1 with 465,716kg CO2/yr and 472,415kg CO2/yr respectively.

To show compliance with the J1V3 requirements of Section J the thermal comfort requirement and the GHG Emissions requirement was achieved.



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#### Annexure A – DtS Clause by Clause

#### Part J3 - Thermal Breaks

Compliance with building fabric can be met by:

Roof thermal break	Compliance
Metal roof on metal purlins/rafters	no further thermal break required if reflected roof blanket was specified.
Metal roof on timber purlins/rafters	N/A
Concrete Roof	N/A

Wall thermal break	Compliance	
Concrete Wall	N/A.	
Lightweight metal external cladding fixed to a timber frame	N/A.	
Lightweight metal external cladding with internal plasterboard on top hats	N/A.	

Thermal breaks are not specified for internal and external walls.

#### Part J4 - Building Fabric

Roof and ceiling construction compliance can be met by:

Solar Absorptance	e Value
Climate Zone 7	The upper surface of a roof must be not more than 0.45. Light colours like surfmist or woodland grey by colorbond are an example of SA less than 0.45.

#### Part J5 - Building Sealing

Compliance with building sealing can be met by:

Building Element	Compliance
	Must be sealed when forming part of the envelope or comply with AS 2047.
External doors and windows	A seal must be installed to restrict air infiltration. For the bottom edge of the door this must be a draft protection device and for other edges of windows or doors may be foam, rubber, fibrous seal or the like.
Roof-light/Skylight	N/A
Walls, Floors	Minimise air leakage in roofs, walls and floor with internal lining systems that are close fitting at ceiling, wall and floor junctions or sealed by caulking, skirting, architraves, cornices or the like.
Rapid roller doors	N/A



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#### Part J6 - Air-Conditioning & Ventilation Systems

Compliance with Air conditioning and mechanical ventilation systems can be met by:

Building Element	Compliance
	Ability to be inactive when the area is not occupied.
	When serving more than one zone, thermostatically control temp of each zone.
	Does not control temp by mixing actively heated and cooled air.
	Limit reheating to not more than a 7.5K rise in temperature.
System Control	When mechanical ventilation is provided an air-economy cycle is required if the total air flow rate through any airside component is greater than or equal to 2,500L/s in Climate Zone 7 in accordance with Table J6D3.
	Which contains more than one water heater, chiller or coil, must be capable of stopping the flow of water to those not operating.
	With airflow over 1000 L/s must have a VSD fan when air supplied is varied.
	Must have the ability to use direct signals from the control components responsible for the delivery of comfort conditions in the building to regulate the operation of the central plant.
	Must have a control dead band of not less than 2 degrees Celsius, except where a smaller range is required for specialised application.
	Must be provided with balancing dampers and balancing valves that ensure the max design air or fluid flow is achieved but not exceeded by more than 15% above design at each component; or group of components operating under a common control in a system containing multiple components as required to meet the needs of the system at its max operating condition.
	Must ensure that each independently operating space of more than 1000m <sup>2</sup> and every separate floor of the building has provision to terminate airflow independently of the remainder of the system to allow for different operating times.
	Must have automatic variable temperature operation of heated water and chilled water circuits.
	When deactivated any motorised outside air and return dampers must close.
	When two or more air-conditioning systems serve the same space, they must use control sequences that prevent the systems from operating in opposing heating and cooling modes

#### Mechanical Ventilation Systems

Building Element	Compliance
System Control	Ability to be inactive when the area is not occupied.
	In accordance with Table J6D4, when serving a conditioned space in Climate Zone 7 of greater than 250 l/s must have modulation control like DCV as per AS 1668.2 or be an energy reclaiming system with a minimum sensible heat transfer effectiveness of 60%.
	Not exceed the min outdoor air quality required by Part F6 by more than 20% except if additional free cooling is provided, additional mechanical vent is needed to balance the system or if an energy reclaiming system preconditions all the outdoor air.
	For an airflow of more than 1000 L/s have a variable speed fan unless the downstream airflow is required by Part F6 to be constant.



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An exhaust system with an air flow rate of more than 1000L/s must be capable of stopping the motor when the system is not needed.
A time switch must be provided to a mechanical ventilation system with an airflow rate of more than 1000 L/s. The time switch must be capable of switching electric power on and off at variable pre-programmed times and on variable pre- programmed days. This does not apply if the mech ventilation serves only one SOU.

Building Element	Compliance
Minimum required static efficiency (installation type A & C)	<ul> <li>Fans with a static pressure of 200 Pa or less must have a system static efficiency at their full load of not less than that in J6D4.</li> <li>See J6D4 in detailed assessment for percentages based off different fan types.</li> <li>Fans with a static pressure over 200Pa must not have a min required system static efficiency lower than that specified from J6D5.</li> <li>See J6D5 in detailed assessment for percentages based off different fan types.</li> </ul>
Minimum required system total efficiency (installation type B & D)	Fans with a static pressure of 200 Pa or less must have a system total efficiency at their full load of not less than that in J6D5. See J6D5 in detailed assessment for percentages based off different fan types. Fans with a static pressure over 200Pa must not have a min
	required system total efficiency lower that specified from J6D5 (c). See J6D5 (2) in detailed assessment for percentages based off different fan types.
Ductwork	The pressure drop in the index run across all straight sections of rigid ductwork and all sections of flexible ductwork must not exceed 1 Pa/m when averaged over the entire length of straight rigid duct and flexible duct. The pressure drop of flexible ductwork sections may be calculated as if the flexible ductwork is laid straight.
	Flexible ductwork must not account for more than 6m in length in any duct run.
	The upstream connection to ductwork bends, elbows and tees in the index run must have an equivalent diameter to the connected duct.
	Turning vanes must be included in all rigid ductwork elbows of 90 degrees or more in the index run except where the inclusion of turning vanes presents a fouling risk; or a long radius bend in accordance with AS 4254.2 is used.
Ductwork components in the Index run	Pressure drops across components on the index run must not exceed the values stated in J6D5(4.d) across coils, the values stated in J6D5(4.c) for filters and other pressure drops identified for each component type in J6D5(4).
Ductwork insulation	Ductwork and fittings in an A/C system must be provided with insulation complying with AS/NZS 4859.1.



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	Insulation for flexible ductwork an R-value of R1.0.
	Insulation of min R-value R1.20 in a conditioned space, R3.0 when exposed to direct sunlight & R2.0 in all other locations.
	Ductwork insulation requirements do not apply to the only or last room served by the system or for packaged air conditioners, split systems and VRF equipment complying with MEPS.
Ductwork sealing	AS 4254 Part 1 details that all connections to flexible ductwork must be both air sealed with adhesive tape and fixed with drawbands or the like.

Building Element	Compliance
Circular Pumps - Energy Efficiency Index	Circulator pumps - A glandless impeller pump, with a rated hydraulic power output of less than 2.5kW and that is used in closed loop systems must have an energy efficiency Index (EEI) not more than 0.27 calculated in accordance with European Union Commission Regulation No. 622/2012.
Other Pumps - MEI	Other pumps - Pumps that are in accordance with Articles 1 and 2 of European Union Commission Regulation No. 547/2012 must have a minimum efficiency index (MEI) of 0.4 or more when calculated in accordance with European Union Commission Regulation No. 547/2012
Pipework pressure drop	Must achieve the average pressure drop of not more than the values nominated in J6D8.
Pipework insulation	All piping, vessels, heat exchangers and tanks must meet those requirements by AS/NZS 4859.1. Any components that are not covered by MEPS must meet the relevant values in J6D9.
	Insulation provided to piping must be protected by a vapour barrier on the outside of the insulation.

either a solar heater, a heater using reclaimed heating capacity is not		Compliance			
		neater, a gas h eclaimed energ	s part of an A/C system must be heater, a heat pump heater, a argy or an electric heater if the re than the table below.		
	Maxin	num electric he	ating capacit	v	
a cale to the day de later.	Maxin W/m2 of floor area in climate zone 3	um electric he W/m2 of floor area in climate zone 4	eating capacit W/m2 of floor area in climate zone 5	y W/m2 of floor area in climate zone 6	W/m2 of floor area in climate zone 7
Floor area of the conditioned space	W/m2 of floor area in climate	W/m2 of floor area in climate	W/m2 of floor area in climate	W/m2 of floor area in climate zone	floor area in



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Building Element	Compliance	
Energy Efficiency Ratio's	An air-conditioning system refrigerant chiller must comply with MEPS and the full load operation energy efficiency ratio and integrated part load energy efficiency ratio as per the tables in J6D11 when determined in accordance with AHRI 551/591.	

Unitary /	A/C
-----------	-----

Building Element	Compliance	
Energy Efficiency Ratio's	Unitary A/C equipment including PAC, split systems, and VRF systems must comply with MEPS and for a capacity greater than or equal to 65kWr must comply with the values in J6D12.	

#### Heat rejection equipment

Building Element	Compliance	
Max fan input power	The motor rated power of a fan in a cooling tower, closed circuit cooler or evaporative condenser must not exceed the allowances in J6D13.	

#### Part J7 - Artificial Lighting & Power

Compliance with building sealing can be met by:

Building Element	Compliance		
New Lighting	Must not exceed the "maximum lighting wattage" in the lighting calculations table in J7D3.         LED lighting on motion sensors and/or timers will likely be compliant.         Must be in a visible position in the room being switched or located in an adjacent room where the lighting being switched can be seen.         For multiple functional spaces, not operate lighting for an area more than 250m <sup>2</sup> in a class 7a & 9b building.		
Artificial Lighting Switch			
Artificial Lighting	A time switch or an occupant sensing device such as a security key card reader or a motion detector in accordance with Spec J7 must control 95% of artificial lighting in a building or storey of a building of more than 250m2 (for exceptions see J7D4 in the detailed assessment).		
Lighting in a fire isolated passageway	Must have a motion detector.		
ighting Controlled separately from other artificial lighting manual switch for each area. Controlled by a time where display lighting exceeds 1kW.			
Artificial Lighting Perimeter	Controlled by a daylight sensor or time switch. When the total perimeter lighting load exceeds 100W, have an average light source efficiency of not less than 100 lumens/W or to be controlled by a motion detector (for exceptions see J7D6 in the detailed assessment).		
Decorative External Lighting	Must have a separate time switch.		
Boiling Water & Chilled Water Storage Units	Must be controlled by a time switch.		



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Specification J6	All time switches, motion detectors, occupant sensing devices & daylight sensors must meet Specification J7 standards.
Heated water & chilled water storage	Power supply to a boiling water or chilled water storage unit must be controlled by a time switch in accordance with Specification J7.

Lifts	N/A	
Escalators and moving walkways	N/A	

#### Part J8 - Heated Water Supply and Swimming Pool & Spa Pool Plant

Compliance with artificial lighting & power can be met by:

Building Element	Compliance
Heated Water	A heated water supply system for food preparation and sanitary purposes must be designed and installed in accordance with Part B2 of NCC Volume Three - Plumbing Code of Australia.

#### Part J9 - Energy monitoring and on-site distributed energy resources

Compliance with energy monitoring can be met by:

Building Element	Compliance		
Gas & Electricity	N/A		
Sub-metering	N/A		
Facilities for electric vehicle charging	A carpark associated with a Class 3 building must be provided with electrical distribution boards dedicated to electric vehicle charging.		
	When associated with a Class 3 building, have capacity for each circuit to support an electric vehicle charger able to deliver a minimum of 48kWh from 11:00pm to 7:00am daily; and		
	Be sized to support the future installation of a 7kW (32A) type 2 electric vehicle charger in 20% of the car parking spaces associated with a Class 3 building; and		
	Contain space of at least 36mm width of DIN rail per outgoing circuit for individual sub-circuit electricity metering to record electricity use of electric vehicle charging equipment; and		
	Be labelled to indicate the use of the space required by (d) is for the future installation of metering equipment.		
Facilities for Solar Photovoltaic and Battery System	At least 20% of the roof area of a building must be left clear for the installation of solar photovoltaic panels, <b>except</b> for buildings: With installed solar photovoltaic panels on:		
	-At least 20% of the roof area; or		
	-Equivalent generation capacity elsewhere on-site; or		

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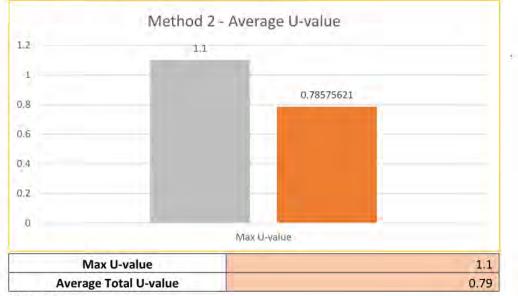
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	-Where 100% of the roof area is shaded for more than 70% of daylight hours; or
	-With a roof area of not more than 55m <sup>2</sup> ; or
	-Where more than 50% of the roof area is used as a terrace carpark, roof garden, roof light or the like.



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## Annexure B - Façade Calculations - DTS Class 3 – Detached Motel Rooms | U-Value: 5.8



Method 1

Locations = 8	Façade Area	% of facade	Façade U-value		
Ground North	8.45	0.103325997	0.357142857	Compliant	
Ground East	27.44	0.33553436	0.555497709	Compliant	
Ground South	8.45	0.103325997	0.357142857	Compliant	
Ground West	37.44	0.457813646	1.147985348	Non Compliant	
Total Area	81.78	100.00%			

Note: These values are for DTS reference only. See summary page for proposed specs



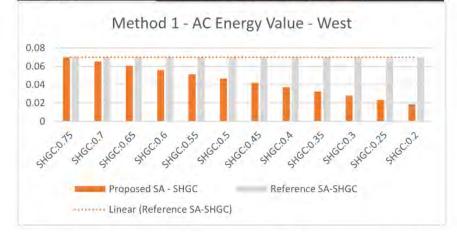
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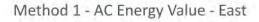
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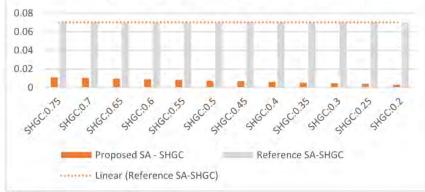
SA - West	Method 1 - Singl	Method 1 - Single Aspect		
SHGC:0.75	0.069912	Compliant	0.07	
SHGC:0.7	0.065251	Compliant	0.07	
SHGC:0.65	0.06059	Compliant	0.07	
SHGC:0.6	0.055929	Compliant	0.07	
SHGC:0.55	0.051269	Compliant	0.07	
SHGC:0.5	0.046608	Compliant	0.07	
SHGC:0.45	0.041947	Compliant	0.07	
SHGC:0.4	0.037286	Compliant	0.07	
SHGC:0.35	0.032626	Compliant	0.07	
SHGC:0.3	0.027965	Compliant	0.07	
SHGC:0.25	0.023304	Compliant	0.07	
SHGC:0.2	0.018643	Compliant	0.07	

SHGC - Method 1 used since gazing area was under 20% | Class 3- SHGC of 0.75



SA - East	Method 1 - Singl	Method 1 - Single Aspect		
SHGC:0.75	0.010933	Compliant	0.07	
SHGC:0.7	0.010204	Compliant	0.07	
SHGC:0.65	0.009475	Compliant	0.07	
SHGC:0.6	0.008746	Compliant	0.07	
SHGC:0.55	0.008017	Compliant	0.07	
SHGC:0.5	0.007289	Compliant	0.07	
SHGC:0.45	0.00656	Compliant	0.07	
SHGC:0.4	0.005831	Compliant	0.07	
SHGC:0.35	0.005102	Compliant	0.07	
SHGC:0.3	0.004373	Compliant	0.07	
SHGC:0.25	0.003644	Compliant	0.07	
SHGC:0.2	0.002915	Compliant	0.07	





Note: These values are for DTS reference only. See summary page for proposed specs.



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Annexure C - Building Envelope Ground Floor: Orange outline notates wall R-value of R1.4





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#### **Existing Building Construction**

For roof & ceiling systems in this climate zone 7, a total R-value of R6.65 can comply with insulation installed as per following table:

Non-ventilated metal roof with horizontal ceiling with pitch of ≤5°

Building Element	R-value downwards		
Outside air-film	0.03		
Metal Roof	0.00		
Additional roof blanket insulation	1.80		
Non-ventilated 20mm reflective air space (E 0.9/0.05)	0.60		
Additional batt insulation	4.00		
Plasterboard (10mm)	0.06		
Internal air-film	0.16		
Total R-value	R6.65		

#### Exposed Suspended Floor to SOUs (no insulation to bathrooms)

Building Element	R-value	
Internal air film	0.16	
Plywood	0.14	
Carpet C/W underlay	0.03	
Cavity	0.00	
Glasswool Insulation	1.50	
External air-film	0.03	
Total R-value	1.86	



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Existing Wall built up with thermal bridging.

and the second second	-						Calc
Wall Systems							
Ventilation	0	Slightly Ventilated	A slightly ventilated air space	e is derated by 45% for each layer	between the cavity and	d layer 1 to account for lower thermal	resistance
Material	Aluminium - sheeting	Airspace - non-reflective	R2.0 Glasswool Insulation	Gypsum plasterboard			
Thickness (mm)	13	90	90	13			
Conductivity (W/mK)	210.000		0.045	0.170			
raming Material		1	Steel			2	
etal Frame, Web @ Thickness (mm)			0.55				
Flange Width			36				
Framing Area %			11.0%				
Thermal Break Material							
Thermal Break Thickness (mm)							
Thermal Break Overlap Area %							
Resistance (m².K/W)	0.00	0.00	1.07	0.08	0	0	0
all Construction			External St	urface Resistance (movin	ig air, not more th	han 3m/s wind speed)	0.04
	Internal Surface Resistance (still air, on a wall) 0.12					0.12	
					Sys	stem R-Value (m <sup>2</sup> .K/W)	1.31
					Sys	stem U-Value (W/m².K)	0.76

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## Annexure D - Thermal Comfort Analysis Results

Peak occupancy hours between 4pm to 12am.

	Predicted	Predicted	Predicted	block 9-SOU	0	99	1				
	A CONSTRUCTOR	mean vote - %	mean vote-	block 9-SOU	0	99.1	0.9				
		hours in range	Shoursin	block 9-SOU	0	99	1				
			tange	block 9-SOU	0	98.6	1.4				
Location	c= -1.00	>-1.00 to x=1.00		block 18-SOU	0	99.4	0.6				
block 24-SOU	0	99.8	0.2	block 18-SOU	0	99.6	0.4				
block 24-SOU	0	99.8	0.2	block 18-SOU	0	99.6	0.4				
block 25-SOU	0	99.3	0.7	block 18-SOU	0	99.4	0.6				
block 25-SOU	0	99,2	0.8	block 20-SOU	0	99,4	0.6				
block 8-SOU	0	99,6	0.4	block 20-SOU	0	99.6	0.4				
block 8-SOU	0	99,7	0.3	block 20-SOU	0	99.6	0.4				
block 8-SOU	0	99.7	0.3	block 20-SOU	0	99.4	0.6				
block 8-SOU	0	99.4	0.6	block 21-SOU	0	99.4	0.6				
block 3-SOU	0	99.6	0,4	block 21-SOU	0	99.6	0.4				
block 3-SOU	0	99.7	0.3	block 21-SOU	0	99.6	0.4				
block 3-SOU	0	99.7	0.3	block 21-SOU	0	99.4	0.6				
block 3-SOU	0	99.5	0.5	block 17-SOU	0	99.4	0.6				
block 7-SOU	0	99.6	0.4	block 17-SOU	0	99.6	0.4				
block 7-SOU	0	99.7	0.3	block 17-SOU	0	99.6	0,4				
block 7-SOU	0	99.7	0.3	block 17-SOU	0	99.4	0.6				
block 7-SOU	0	99.5	0.5	block 14-SOU	0	99.4	0.6				
block 11-SOU	0	99.6	0.4	block 14-SOU	0	99.6	0,4				
block 11-SOU	0	99.7	0.3	block 14-SOU	0	99.6	0.4				
block 11-SOU	0	99.7	0.3	block 14-SOU	0	99.4	0.6				
block 11-SOU	0	33.5	0.5	block 12-SOU	0	99.7	0.3				
block 23-SOU	0	99.6	0.4	block 12-SOU	0	99.9	0.1				
block 23-SOU	Ő	99.7	0.3	block 12-SOU	0	99.9	0.1	1 C			
block 23-SOU	0	99.7	0.3	block 12-SOU	0	99.7	0.3	two on and		00	(m) = 7
block 23-SOU	0	99.5	0.5	block 13-SOU	0	99.7	0.3	block 22-SOU	0		1
block 6-SOU	0	99	1	block 13-SOU	0	99.9	0.1	block 22-SOU	0	99	1
block 6-SOU	0	99.1	0.9	block 13-SOU	0	99,9	0.1	block 22-SOU	0	98.5	1.5
block 6-SOU	0	99	1	block 13-SOU	0	99.7	0.3	block 1-SOU	0	98.9	1.1
block 6-SOU	0	98.6	1.4	block 15-SOU	0	99.7	0.3	block 1-SOU	0	99	1
block 5-SOU	0	38.6	1	block 15-SOU	0	99.9	0.1	block 1-SOU	0	99	1
block 5-SOU	0	33	1	block 15-SOU	0	99.9	0.1	block 1-SOU	0	98.6	1.4
block 5-SOU	0	33	1.3	block 15-SOU	0	99.7	0.3	block 4-SOU	0	99.6	0.4
				block 16-SOU	0	99.7	0.3	block 4-SOU	0	99.7	0.3
block 10-SOU	0	98.9	11	block 16-SOU	0	99.9	0.1	block 4-SOU	0	99.7	0.3
block 10-SOU	0	99	1	block 16-SOU	0	99.9	0.1	block 4-SOU	0	99.4	0.6
block 10-SOU	0	99	1	block 16-SOU	0	99.7	0.3				-
block 10-SOU	0	98,4	1.6	block 19-SOU	0	99,7	0.3	block 5-SOU	0	39	1
block 2-SOU	0	.99	1	block 19-SOU	0	99.9	0.1	Total			
block 2-SOU	0	99.1	0.9	block 19-SOU	0	99.9	0.1	hours (2 of		99,41	
block 2-SOU	0	99	1	block 19-SOU	0	99.7	0.3	saimi			
block 2-SOU	0	98.6	1.4	block 22-SOU	0	98.8	1.2				

Peak occupancy hours between 12am to 10am.



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Peak occupancy hours between 12am to 10am.

	Predicted	Predicted	Predicted	block 9-SOU	0	100	0	1
	a direction de la company	mean vote - %	mean vote -	block 18-SOU	0	100	0	
		hours in range	%hours in	block 18-SOU	0	100	0	
1000		and the second se	range	block 18-SOU	0	100	0	
Location	<= -1.00	p-1.00 to <= 1.00	> 1.00	block 18-SOU	0	100	0	
block 24-SOU	0	100	0	block 20-SOU	0	100	0	
block 24-SOU	0	100	0	block 20-SOU	0	100	0	-
block 25-SOU	0	100	0	block 20-SOU	0	100	0	-
block 25-SOU	0	100	0	block 20-SOU	0	100	0	-
block 8-SOU	0	100	0	block 21-SOU	0	100	0	
block 8-SOU	0	100	0	block 21-SOU	0	100	0	
block 8-SOU	0	100	0	block 21-SOU	0	100	0	
block 8-SOU	0	100	0	block 21-SOU	0	100	0	
block 3-SOU	0	100	0	block 17-SOU	0	100	0	-
block 3-SOU	0	100	0	block 17-SOU	0	100	0	
block 3-SOU	0	100	0	block 17-SOU	0	100	0	
block 3-SOU	0	100	0	block 17-SOU	0	100	0	-
block 7-SOU	0	100	0	block 14-SOU	0	100	0	
block 7-SOU	0	100	0	block 14-SOU	0	100	0	
block 7-SOU	0	100	0	block 14-SOU	0	100	0	
block 7-SOU	0	100	0	block 14-SOU	0	100	0	
block 11-SOU	0	100	0	block 12-SOU	0	100	0	
block 11-SOU	0	100	0	block 12-SOU	0	100	0	
block 11-SOU	0	100	0	block 12-SOU	0	100	0	
block 11-SOU	0	100	0	block 12-SOU	0	100	0	
block 23-SOU	0	100	0	block 13-SOU	0	100	0	
block 23-SOU	0	100	0	block 13-SOU	0	100	0	
block 23-SOU	0		0	block 13-SOU	0	100	0	
block 23-SDU	0	100	0	block 13-SOU	0	100	0	-
block 6-SOU	0	100	0	block 15-SOU	0	100	0	
block 6-SOU	0	100	0	block 15-SOU	0	100	0	
block 6-SOU	0	100	0	block 15-SOU	0	100	0	
block 6-SOU	0	100	0	block 15-SOU	0	100	0	
block 5-SOU	0	100	0	block 16-SQU	0	100	0	
block 5-SOU	0	100	0	block 16-SOU	0	100	0	1.0
block 5-SOU	0	100	0	block 16-SOU	0	100	0	
block 10-SOU	0	100	0	block 16-SOU	0	100	0	
block 10-SOU	0	100	0	block 19-SOU	0	100	0	1-
black 10-SOU	0	100	0	block 19-SOU	0	100	0	
block 10-SOU	0	100	0	block 19-SOU	0	100	0	
block 2-SOU	0	100	0	block 19-SOU	0	100	0	
block 2-SOU	0	100	0	block 22-SOU	Ó	100	0	
block 2-SOU	0	100	0	block 22-SOU	0	100	0	귀나
block 2-SOU	0	100	0	block 22-SOU	0	100	0	
block 9-SOU	0	100	0	block 22-SOU	0	100	0	
block 9-SOU	0	100	0	block 1-SOU	0	100	0	
block 9-SOU	0	100	0	block 1-SOU	0	100	0	

Total nows (% of		109.00	
block 5-SOU	0	100	0
block 4-SOU	0	100	0
block 4-SOU	0	100	0
block 4-SOU	0	100	0
block 4-SQU	0	100	0
block 1-SOU	0	100	0
block I-SOU	0	100	0



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### Annexure E – Simulation Results Dts – Energy

	Total system energy (MWh)	Total lights energy (MWh)	Total equip energy (MWh)	Boilers energy (MWh)	Chilliers energy (MWh)	Total electricity (MWh)	Total energy (MWh)
Date	230396E-BlavnevD	230396E-BlavnevD	230396E-BlavnevD	230396E-BlavnevD	230396E-BlayneyD	230396E-BlavnevD	230396E-BlavnevD
Jan 01-31	19.2634	1.4314	1.3942	10.0262	2.6996	22.0889	22.0889
Feb 01-28	19.3777	1.2928	1.2593	11.8214	1.8553	21.9297	21.9297
Mar 01-31	24.6127	1.4314	1.3942	17.0534	1.4568	27.4383	27.4383
Apr 01-30	39.9446	1 3852	1.3492	34.1850	0.2572	42.6790	42 6790
May 01-31	51.3325	1.4314	1,3942	45,6281	0.0827	54.1581	54.1581
Jun 01-30	62.4738	1.3852	1.3492	57.0344	0.0200	65.2083	65.2083
Jul 01-31	64.7487	1.4314	1,3942	59.1277	0.0209	67.5743	67.5743
Aug 01-31	60 1219	1 4314	1,3942	54,4511	0.0578	62.9474	62.9474
Sep 01-30	48 4840	1 3852	1,3492	42,8545	0.1609	51,2184	51.2184
Oct 01-31	38.1672	1.4314	1.3942	31.9362	0.4728	40.9927	40.9927
Nov 01-30	28.6790	1.3852	1.3492	21.6426	1.2030	31.4134	31.4134
Dec 01-31	22.1290	1 431 4	1.3942	14.2975	1.6584	24.9545	24.9545
Summed total	479.3345	16.8532	16.4154	400.0580	9.9455	512.6030	512.6030

### Dts - C02 Emissions

	Total system CE (kgCO2)	Total lights CE (kgCO2)	Total equip CE (kgCO2)	Total elec. CE (kgCO2)	Total CE (kgC02)
Date	230396E-BlayneyDTSS- a	230396E-BlayneyDTSS-a	230396E-BlayneyDTSS- a	230396E-BlayneyDTSS-a	230396E-BlayneyOTSS-a
Jan 01-31	17753	1319	1285	20357	20357
Feb 01-28	17858	1191	1161	20210	20210
Mar 01-31	22683	1319	1285	25287	25287
Apr01-30	36813	1277	1243	39333	39333
May 01-31	47308	1319	1285	49912	49912
Jun 01-30	57576	1277	1243	60096	60096
Jul 01-31	59672	1319	1285	62276	62276
Aug 01-31	55408	1319	1285	58012	58012
Sep 01-30	44683	1277	1243	47203	47203
Oct 01-31	35175	1319	1285	37779	37779
Nov 01-30	26431	1277	1243	28951	28951
Dec 01-31	20394	1319	1285	22998	22998
Summed total	441755	15532	15128	472415	472415



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### Ref: 230396C-J1V3-r2

62 Osman St, Blayney

Proposed (Model 2) - Energy

	Total system energy (MWh)	Total lights energy (MWh)	Total equip energy (MWh)	Boilers energy (MWh)	Chillers energy (MWh)	PV generated electricity (MWh)	Total electricity (MWh)	Total energy (MWh)
Date	230396E-Blevney	230396E-Blayney	230396E-Blavney	230396E-Blayney	230396E-Blayney	230396E-Blayney	230396E-Blayney	230396E-Blayney
Jan 01-31	23.4618	1.4314	1.3942	14.8914	2.2056	-13.0333	26.2873	13.2541
Feb 01-28	24.1279	1,2928	1.2593	17.1768	1.4071	-11.5903	26.6800	15.0897
Mar 01-31	31.1617	1.4314	1.3942	24.3374	0.9123	-12.8832	33.9872	21.1040
Apr 01-30	53.1758	1,3852	1.3492	47.6950	0.0507	-11 1322	55 9102	44.7780
May 01-31	68 1006	1.4314	1.3942	62.4991	0.0065	-9.6491	70.9262	61.2771
Jun 01-30	81.9337	1.3852	1.3492	76.5212	0.0002	-7.8489	84.6683	76.8194
Jul 01-31	85.4026	1.4314	1.3942	79.8096	0.0002	-9.0594	88.2282	79.1687
Aug 01-31	79.4828	1.4314	1.3942	73.8818	0.0061	-9.3379	82.3084	72.9705
Sep 01-30	65.1081	1.3852	1.3492	59.6346	0.0453	-11 8173	67.8425	56.0252
Oct 01-31	50.6609	1.4314	1 3942	44.8244	0.1806	-12 5271	53.4865	40.9594
Nov 01-30	37 6091	1,3852	1.3492	31,0113	0.8781	-12.5426	40.3435	27 8009
Dec 01-31	27.9136	1.4314	1.3942	20.9278	1 0319	-13 2577	30 7391	17.4814
Summed total	628.1384	16.8532	16.4154	553.2106	6.7245	-134.6791	661.4075	526.7285

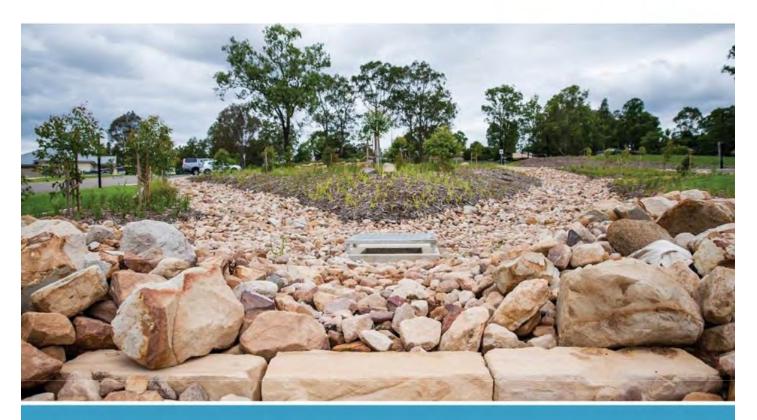
Proposed (Model 2) - C02 Emissions

	Total system CE (kgCO2)	Total lights CE (kgCO2)	Total equip CE (kgCO2)	Total elec: CE (kgCO2)	Total CE (kgCO2)
Date	230396E-Blayney-Propose	230396E-Blayney-Propose	230396E-Blayney-Propose	230398E-Blayney-Propose	230396E-Blayney-Propose
Jan 01-31	21622	1319	1285	24226	10307
Feb 01-28	22236	1191	1161	24588	12210
Mar 01-31	28719	1319	1285	31323	17563
Apr 01-30	49007	1277	1243	51527	39638
May 01-31	62762	1319	1285	65366	55060
Jun 01-30	75510	1277	1243	78030	68648
Jul 01-31	78707	1319	1285	81311	71636
Aug 01-31	73251	1319	1285	75855	65883
Sep 01-30	60004	1277	1243	62524	49903
Oct 01-31	46689	1319	1285	49293	35914
Nov 01-30	34661	1277	1243	37181	23785
Dec 01-31	25725	1319	1285	28329	14170
Summed total	578893	15532	15128	609553	465716



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Rovest Holdings Pty Ltd

# Sewer Capacity Assessment Report

62 Osman Street, Blayney

15 December 2021

ENGINEERING PLANNING SURVEYING CERTIFICATION This is Page No. 342 of the Attachments of the Extraordinary Council Meeting of Blayney Shire Council held on 18 December 2024



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Project No.	210531
Author	Jacob Rodriguez
Checked	Scott Brisbin
Approved	Scott Brisbin

Rev No.	Status	Date	Comments
1	For Approval	14/12/2021	
2	For Approval	15/12/2021	Revised for Comments

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Appendix A – Sewer Plans and Data Appendix B - Wastewater Loading (Flow Rate) Calculations

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210531 – 62 Osman Street, Blayney

Sewer Capacity Assessment Report

## 1 Executive Summary

Rovest Holdings Pty Ltd have gained development consent to construct a motel development over two stages at 62 Osman Street, Blayney. The existing consent provides for a motel development of up to 98 motel rooms, to be provided over two stages (98 in Stage 1 and reducing to 80 in Stage 2). BRS have also been advised that Rovest is considering the addition of a third development stage that would conceptually add up to a further 30 double bedrooms. To be conservative, this report therefore considers an overall maximum capacity delivery of motel rooms of up to 130.

As part of the site's Development Consent for Stages 1 and 2, Blayney Shire Council requested a sewerage capacity assessment for the existing network downstream of the subject site.

Theoretical wastewater flow rates were estimated using the method in the Sewerage Code of Australia (WSA02).

A sewer hydraulic capacity assessment was carried out using DRAINS software.

Overall, the model results demonstrated that the development will not significantly increase the risk of sewage overflows occurring from gravity sewer manholes during wet weather conditions. The results also supported Council staff advice that there are no known existing capacity limitations or operational issues with the gravity sewerage network.

The model results demonstrate that the estimated peak wet weather flows are retained underground within the sewerage network and that the existing network is suitable for the proposed development with no increased risk sewage overflows.

Accordingly, upgrade or augmentation of Council's existing gravity sewerage network is not considered necessary to accommodate the proposed development

Local gravity sewerage will be required within the development as presented in Appendix A to this report.

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210531 – 62 Osman Street, Blayney	Sewer Capacity Assessment Report

## 2 Background

Rovest Holdings Pty Ltd (the 'Developer') have obtained development consent from Blayney Shire Council to construct a motel development over two stages at 62 Osman Street, Blayney. BRS understand Rovest are also considering a future third stage that would conceptually add an additional thirty (30) double motel rooms to the development, within in the site, and with a frontage to Osman Street in the west.

## 2.1 Existing Site Conditions

The site is known as 62 Osman Street, Blayney and has vehicle access off Church Street to the north. The site was formerly the location of Blayney Bowling Club. The site comprises Lot 1 DP 162646; Lot 8 DP505215; Lot 20 DP569741; Lots 11, 12, 13, 14, Section 13 DP758121; and Lot 10 DP1114679.

The site is bound to the east by commercial properties that front Mid-Western Highway/Adelaide Street, to the south by residential properties fronting Water Street, to the west by Osman Street and residential properties fronting Osman Street.

The site is relatively flat with general grade from the north-west of the site to the south-east.

The site is located south-west of the Blayney town centre with Blayney railway station located approximately 500m north.

A site locality plan and site aerial image are presented in Figure 1 and Figure 2, respectively.

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Figure 1 – Locality Plan (via SixMaps)

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Sewer Capacity Assessment Report



Figure 2 – Site Aerial Image (via Nearmaps)

## 2.2 Proposed Development

The development includes a two stage delivery of an approved motel development.

Primary components of the proposed stages are:

- Stage 1: Installation of 26 modular buildings to provide 92 single and 6 double motel rooms; provision of 80 at-grade car parking spaces and associated circulating aisles; development of a portion of the former bowling club building to provide on-site laundry, kitchen amenity areas and site office.
- 2. Stage 2: Removal of 3 modular units and the replacement of other buildings to increase the number of double rooms to 11, and reduce the number of single motel rooms to 70 (ie 81 rooms in total); replacement of these units with 20 additional car parks (ie 100 total parking spaces).

A potential future stage (Stage 3) has also been discussed that would conceptually add a further 30 double bedrooms to the site. An application for this has not yet been lodged, however, to be conservative, this sewer assessment also includes consideration of the potential addition of these additional rooms.

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#### 2.3 Study Requirements

As part of the site's Development Consent for Stages 1 and 2, Blayney Shire Council requested a sewerage capacity assessment for the existing network downstream of the subject site. A copy of the Deferred Commencement Condition that nominates the study requirements is presented in Figure 3.

#### 1. Deferred Commencement Condition – Sewer Capacity

By reference to section 4.16(3) of the *Environmental Planning and Assessment Act*. 1979, this consent is a deferred commencement consent.

The consent does not operate until such time as the following information is provided to the satisfaction of the Blayney Shire Council:

A report providing analysis of the predicted impact of the development on the capacity of the existing sewerage network.

The report is to state the predicted number of Equivalent Tenements (ETs) generated by the development, and to be agreed upon by council.

The evidence is to include modelling of the impacts of the development on the existing sewerage gravity network and pump station using applicable Water Services Association of Australia codes and Standards, with a minimum being WSA02-2014 & WSA04-2005.

Where modelling indicates the development would impact on, or exceed the capacity of the existing severage network, the report must outline a suitable engineered solution to the satisfaction of the Blayney Shire Council.

Data provided for approval by Council is to include relevant standards used for calculations / provisions, including all assumptions which have been made to complete the calculations.

The period in which this information must be provided to the Blayney Shire Council is six months from the date of consent.

#### Figure 3 – Deferred Commencement Condition

This report has been prepared to address the requirements of the above Deferred Commencement Condition as well as consider the potential for the addition of further rooms in the future.

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#### 210531 – 62 Osman Street, Blayney

Sewer Capacity Assessment Report

## 3 Assessment Methodology

The assessment methodology comprised:

1. Evaluation of existing gravity arrangement based on network information supplied in 'GIS' format by Council.

The network information supplied by Council included:

- Manhole locations for the Blayney township on MGA (Zone 55) Projection (GDA94), including invert and surface levels.
- o Gravity sewerage and sewer rising main pipe arrangement including size and materials.
- 2. Supplementing Council's GIS network data with field survey information as provided by Craig Jacques and Associates (Job No 3564, dated 30 November 2021). Field data included SMH surface and invert levels along with gravity pipe size information for selected sewer assets.
- Calculation of theoretical wastewater loadings within the relevant gravity sewer lines based for 'existing' and 'proposed' conditions.

Loadings were calculated using the Sewerage Code of Australia (WSA02) Section 3 and Appendix A for dry and wet weather conditions.

- 4. Review of the theoretical wastewater loadings with Council supplied pump station data for PS1 at Henry Street.
- 5. Preparation of a hydraulic model for relevant pipe segments downstream of the development site using DRAINS software package and Council-supplied network data, supplemented with field survey information.
- Running the DRAINS network hydraulic model using the theoretical flow estimates. The model was run for 'existing' and 'proposed' wastewater flow rates. The estimated Peak Wet Weather Flow (PWWF) rates are the largest flows typically anticipated and were used for the hydraulic analysis.
- 7. Analysis of Model Results

The estimated liquid levels in each manhole were compared for existing and proposed conditions, to evaluate whether the loadings from the proposed development can be accommodated.

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## 4 Network Arrangement and Flows

### 4.1 Existing Sewerage Network

Council's existing sewerage network is shown on Drawing 210531-03-021 included in Appendix A. This drawing shows estimated sewer catchments used for the assessment.

The existing sewerage lines relevant to the development site are highlighted and detailed on Drawing 210531-03-101 included in Appendix A.

### 4.2 Sewer Concept Plan

The proposed sewer concept plan is presented on Drawing 210531-02-200 and is provided in Appendix A. This drawing proposes:

- Retention of the existing sewer connection to MH289 that services the retained former Bowling Club building;
- b. Installation of a new junction (point of connection) into existing MH293 to service the proposed motel buildings;
- c. New gravity network within the development site to meet the requirements of AS3500.2.

## 4.3 Theoretical Wastewater Loadings

#### 4.3.1 Existing Site

With reference to site survey and site architectural drawings, the former bowling club building has the following areas:

- a. 150m<sup>2</sup> of pub/bar area upstairs.
- b. 300m<sup>2</sup> of restaurant/eating.
- c. 231m<sup>2</sup> of pub/bar area downstairs.

With reference to WSA02 and the above, the existing condition loading from the site is:

- a. Pub/bar = 150 + 230.5 = 380.5m<sup>2</sup> x 0.05 = 19 ETs
- b. Restaurant/easting = 300m<sup>2</sup> x 0.08 = 3 ETs
- c. Total existing condition load = 22 ETs

Based upon an equivalency rate of 3.5 EP / 1 ET, the above 22 ETs is equivalent to 77 EP.

#### 4.3.2 Developed Site (Stage 1 plus Stage 3)

The proposed motel development would provide a maximum of 130 motel rooms (assuming the operation of Stage 1 and Stage 3 concurrently – highest number of rooms and development). The development also includes works to the former Bowling Club building including:

- a. 29m<sup>2</sup> laundry
- b. 4 toilets
- c. 21m<sup>2</sup> kitchen/cafeteria

With reference to WSA02 and the above, the potential maximum development loading (ie Stage 1 plus Stage 3) is:

- a. Single rooms =  $70 \times 0.125 = 9$  ETs
- b. Double room =  $60 \times 0.125 \times 2 = 15$  ETs
- c. Laundry = 30 x 0.21 = 7 ETs

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- d. Toilets =  $4 \times 0.5 = 2$  ETs
- e. Kitchen = 21 x 0.008 = 1 ETs
- f. Total Stage 2 developed load = 34 ETs

Based upon an equivalency rate of 3.5 EP / 1 ET, the above 34 ETs is equivalent to 119 EP.

It is therefore estimated that the proposed development will increase the load to Council's sewerage network by 12 ET (equivalent to 42 EP).

#### 4.3.3 Upstream Network

An assessment of the upstream sewerage network was undertaken with reference to WSA02 to estimate wastewater flows within the network.

Catchment areas for the sewerage network are shown on Drawing 210531-03-021 included in Appendix A.

Key assumptions in the upstream catchment assessment are presented in Table 4.1.

Table 4.1: Key assumptions and adopted parameter values for theoretical flow calculations

Parameter	Assumption/value							
Wastewater Generation	180 Litres / EP / Day							
EP Density (Residential)	EP Density (Residential) 3.5 EP per standard residential dwelling							
EP Density (Commercial)	Varies 5EP/ha to 50EP/ha depending on types of development in each location							
Groundwater Factor	0 (all pipework assumed above the permanent groundwater level)							

Based upon the calculations presented in Appendix B, estimate peak flows arriving at PS1 are presented below.

Table 4.2: Estimated peak flow rates arriving at existing PS1

Event	Estimated Peak Inflow Rate (Existing)	Estimated Peak Inflow Rate (Proposed)
Average Dry Weather Flow (ADWF)	10.3 L/s	10.4 L/s
Peak Dry Weather Flow (PDWF)	22.7 L/s	22.8 L/s
Peak Wet Weather Flow (PWWF)	105.0 L/s	105.9 L/s

## 4.4 Comparison Flow Rates (Existing vs Proposed)

The comparison of flows in Table 4.2 shows:

- a. A minor increase in flow rates along the existing pipe network;
- b. The net PWWF increase at PS1 due to the proposed development equates to 0.9L/s (approx. 0.82% increase) and is considered negligible.

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## 4.5 PS1 Pump Station Data

Blayney Council have provided approximately 12 months of historical data for the pump station PS1 located near Henry Street. The data included daily inflow data to the pump station including daily minimum, daily maximum and daily average.

The provision of daily pump station data is not particularly suited for comparison to the theoretical flows presented in Section 4.3.3. Such an analysis would require a much smaller time step.

It is considered that the nominal flow increase of 0.76% is negligible and should not impact the operation of the pump station.

### 4.6 STP Capacity Assessment

Blayney Council have also provided a copy of the 'Blayney Sewage treatment Plant Influent Monitoring Report' prepared by NSW Public Works (Report WS120103) dated 22 March 2013. This report assesses the hydraulic loading and hydraulic capacity of the Blayney STP.

The above report concludes that the STP has a theoretical capacity of 7,000EP and a current (2013) loading of 3,268EP, ie STP is running at approximately 47% of its capacity. The proposed development increase of 12ET equates to 0.17% of the STP's capacity.

While it is acknowledged that some development will have occurred within the STP catchment since the 2012 assessment, it is expected that the STP is still operating at a hydraulic loading lower than its capacity.

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## 5 Model Results

A hydraulic model was prepared to assess liquid levels within the network for PWWFs under existing and developed conditions.

A Drains hydraulic model was prepared that considered:

- a. SMH levels based upon Council GIS data and field survey;
- b. Sewer pipe sizes, length and invert levels based upon Council GIS data and field survey;
- c. PWWF network inflows based upon the calculations presented in Appendix B.

Screen captures of the hydraulic model layout under existing and developed site conditions are presented below.

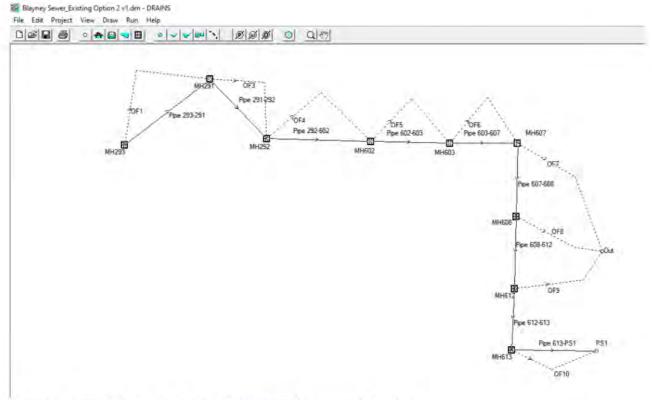


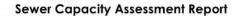
Figure 4 – Plan of Hydraulic Model – Existing and Proposed Condition

Hydraulic results for the theoretical PWWFs presented in Section 4.3.3 and detailed in Append B are presented below.

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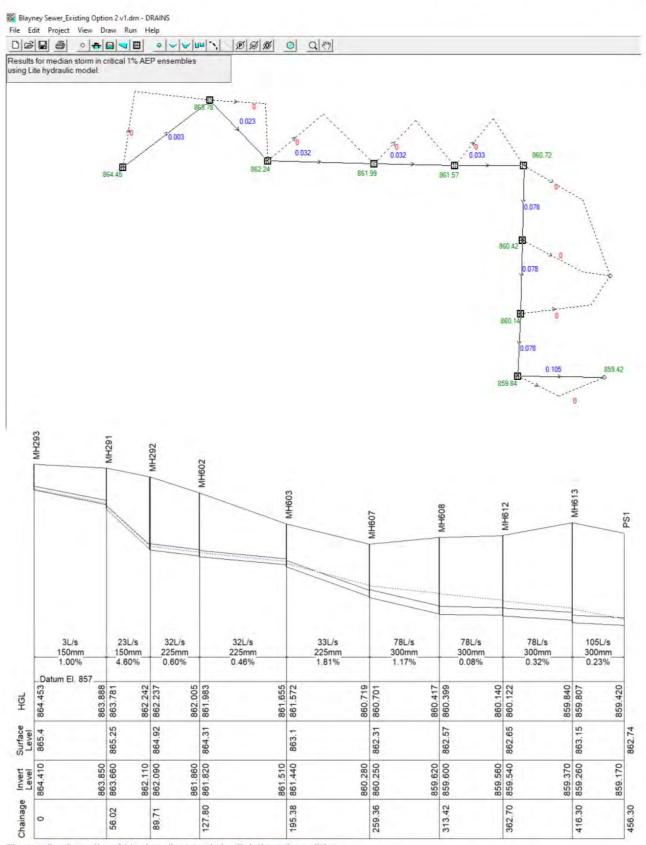


Figure 5 – Results of Hydraulic Model – Existing Condition

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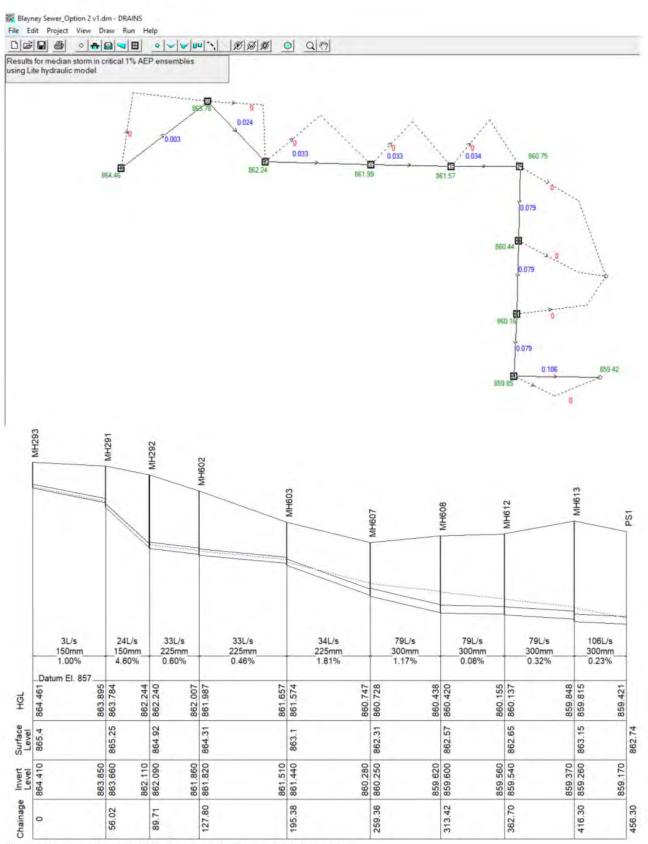


Figure 6 – Results of Hydraulic Model – Proposed Condition

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## 5.1 Discussion of Results

Based on the PWWF hydraulic model results presented in Figure 6 above the pipe full capacity is not exceeded along the downstream existing network, with liquid levels not predicted to rise above any manhole.

The results from the analysis using conservative flow estimates (WSA02 method) support Council's anecdotal advice that their existing system does not currently experience surcharging (uncontrolled discharges) during wet weather conditions.

Therefore, the analysis for wet weather conditions demonstrates that the proposed development will not be at risk of sewage overflows during wet weather events.

#### 5.1,1 Analysis Notes

It should be noted that the hydraulic analysis is considered conservative. Some key elements leading to the conservative outcomes include:

- a. Peaks from commercial / industrial land uses often do not coincide with peaks from residential land use. Regardless, this assessment has assumed all areas contribute their peak flows at the same time.
- b. The catchment plan includes large areas of open space particularly at the western end of Blayney. The rainfall-dependent inflows are calculated using area, independently of the number of dwellings. A significant portion of these open space areas are unlikely to contribute to wet weather inflows, so their inclusion is conservative.

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### 210531 – 62 Osman Street, Blayney Sewer Capacity Assessment Report

## 6 Summary and Conclusion

Rovest Holdings Pty Ltd have consent to construct a motel development over two stages at 62 Osman Street, Blayney. Rovest have also indicated the potential for future expansion of the approved motel (Stage 3) to add up to a further 30 double motel rooms.

As part of the site's Development Consent for Stages 1 and 2, Blayney Shire Council requested a sewerage capacity assessment for the existing network downstream of the subject site.

Theoretical wastewater flow rates were estimated using the method in the Sewerage Code of Australia (WSA02).

A sewer hydraulic capacity assessment was carried out using DRAINS software.

Overall, the model results demonstrated that the approved and proposed development will not significantly increase the risk of sewage overflows occurring from gravity sewer manholes during wet weather conditions. The results also supported Council staff advice that there are no known existing capacity limitations or operational issues with the gravity sewerage network.

The model results demonstrate that the estimated peak wet weather flows are retained underground within the sewerage network and that the existing network is suitable for the proposed development with no increased risk sewage overflows.

Accordingly, upgrade or augmentation of Council's existing gravity sewerage network is not considered necessary to accommodate the proposed development

Local gravity sewerage will be required within the development as presented in Appendix A to this report.

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210531 – 62 Osman Street, Blayney

Sewer Capacity Assessment Report

Appendix A – Sewer Plans and Data



 Blayney Sewer Infrastructure Location

 Job No. 3564

 Dates of Survey
 4 & 5 November 2020

 Batums:
 Horizontal

 Vertical
 MIGA94 Zone 55

 Vertical
 AHD71 by SCIMS

Origin of datum

Craig Jaques & Associates (Orange).

Asset ID	MGA94 ZONE 55 EASTING (m)	MGA94 ZONE 55 NORTHING (m)	AHD71 RL. TOP LID	Description of Feature	Invert (inlet)	Nominal Inlet Pipe Diameter	Invert (outlet)	Nominal Outlet Pipe Diameter
WWPNT289	709326,91	6287524.2	865.56	SMH_SQUARE CONCRETE PIT	864.66	150mm	864.62	150mm
WWPNT290	709368.19	6287516.11	865.75	SMH_ACCESS CHAMBER	864.1 (west)	150mm		
					864.01 (north)	150mm	863.99	150mm
WWPNT291	709355.17	6287470.53	865.25	SMH_ACCESS CHAMBER	863.74 (north)	150mm		
				*	863.85 (west)	150mm	863.66	150mm
WWPNT292	709376.49	6287444.45	864.92	SMH_ACCESS CHAMBER	862.11 (north)	150mm	862.09	225mm
WWPNT602	709413.73	6287436.41	864.31	SMH_ACCESS CHAMBER	861.86	225mm	861.82	225mm
WWPNT603	709480.05	6287423.43	863.1	SMH_ACCESS CHAMBER	861.51	225mm	861.44	225mm
WWPNT607	709542.93	6287411.6	862.31	SMH_ACCESS CHAMBER	860.28 (west)	225mm		
	and a family state of the				860.31 (north)	300mm	860.25	300mm
WWPNT608	709533.31	6287358.41	862.57	SMH_ACCESS CHAMBER	859.62	300mm	859.6	300mm
WWPNT612	709523.28	6287307.06	862.65	SMH_ACCESS CHAMBER	859.56	300mm	859.54	300mm
WWPNT613	709512.97	6287255.12	863.15	SMH_ACCESS CHAMBER	859.37 (north)	300mm	10 million 1	
1					859.53 (south)		859.26	
WWPNT614	709536.88	6287250.67	862.74	CENTRE 2.15m Dia. SEWER TANK AT PUMP STATION	859.17	(		
VWPNT347(293)	709302.00	6287452.91	865.4	SMH SQUARE CONCRETE PIT	864.46 (west)	150mm	864.41 (east)	150mm

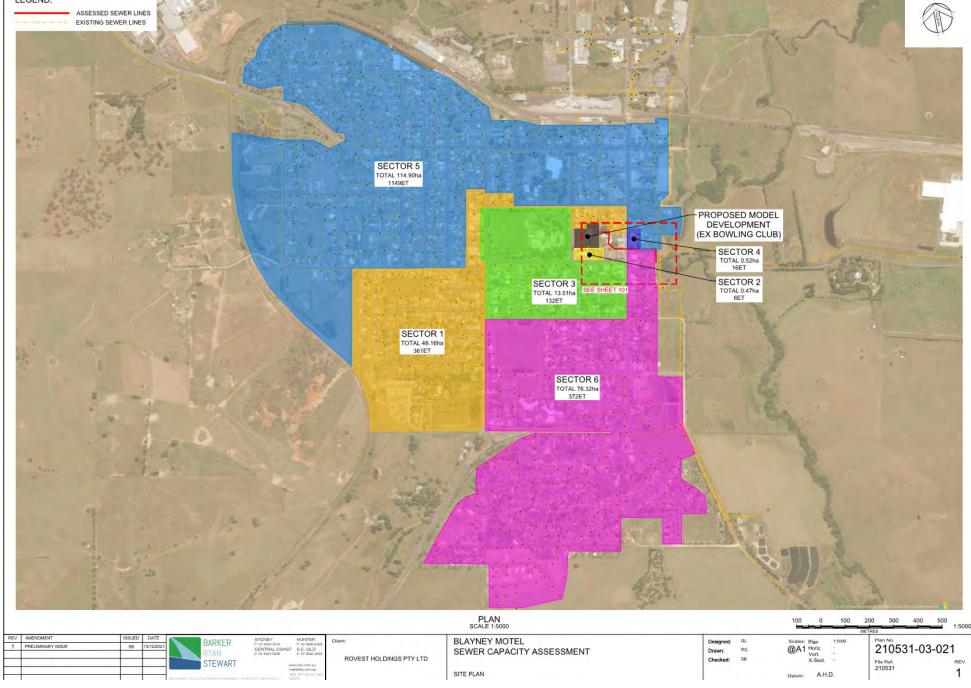
PM 35385 RL. 866.932m

Notes:

Horizontal coordinates shown are centre of feature located as described.

- Nominal, pipe sizes where shown have been estimated as best possible without entering the features located. Local water authority work as executed plans and records should be used for exact pipe sizes to verify those shown by survey. Where any discrepancy between survey and local water authority records is disclosed and pipe sizing is critical further investigation will be required.

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NO:

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210531 – 62 Osman Street, Blayney

Sewer Capacity Assessment Report

Appendix B - Wastewater Loading (Flow Rate) Calculations

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	LOADING CALCULATIONS - EXISTING CONDITION																											
NETWORK DETAILS RESIDENTIAL & OPEN SPACE								1																				
MH N	AME	SEGMENT NAME	AME HOUSES (SINGLE DWELLINGS) RESIDENTIAL (OTHER) OPEN SP			PEN SPAC	E	TOTAL	c	COMMERCIAL INDUSTRIAL		SPECIAL USE			TOTALS	UPSTREAM TOTALS			DESIGN FLOW	N								
U/S	D/S		Lots	EP/Lot	EP	Area	EP/ha	EP	Area	EP/ha	EP	EP	Ha	EP/ha	EP	Ha	EP/ha	EP	Ha	EP/ha	EP	EP	EP	ADWF (L/s)	r	PDWF (L/s)	SA	PWWF (L/S)
293	291	293-291	6	3.5	21			0			0	21			0			0	1	77	77	98	98	0.2	4.1	0.8	1.624	2.5
291	292	291-292	194	3.5	679	0.31	48	14.88				694	3.2	35	112	7	10	70	6.3	12.3	77	953	1051	2.2	2.7	6.0	17.4227	23.4
292	602	292-602	75	3.5	263			0	5.6	10	56	319	2.1	35	73.5			0			0	392	1443	3.0	2.6	7.8	23.9187	31.7
602	603	602-603										0										0	1443	3.0	2.6	7.8	23.9187	31.7
603	607	603-607			0			0			0	0	1.2	35	42			0	0.2	12.3	2	44	1488	3.1	2.6	8.0	24.6555	32.7
607	608	607-608	543	3.5	1901	0.125	96	12			0	1913	9.71	20-50	205			0	1.578	38	60	2177	3665	7.6	2.3	17.4	60.7367	78.1
														1								1303.5	4969	10.3	2.2	22.7	82.3375	105.0
																									-			

Varies 5EP/ha to 50EP/ha depending on types of development in each location This is Page No. 365 of the Attachments of the Extraordinary Council Meeting of Blayney Shire Council held on 18 December 2024

	LOADING CALCULATIONS - DEVELOPED CONDITION																											
NETWORK DETAILS RESIDENTIAL & OPEN SPACE																												
MH NA	ME	SEGMENT NAME	HOUSES (SINGLE DWELLINGS) RESIDENTIAL (OTHER) OPEN SPACE T			TOTAL	C	OMMERCI	AL		INDUSTRIA	L	S	SPECIAL USE		TOTALS	UPSTREAM TOTALS			DESIGN FLOW	i The second sec							
U/S	D/S		Lots	EP/Lot	EP	Area	EP/ha	EP	Area	EP/ha	EP	EP	Ha	EP/ha	EP	Ha	EP/ha	EP	Ha	EP/ha	EP	EP	EP	ADWF (L/s)	r	PDWF (L/s)	SA	PWWF (L/S)
293	291	293-291	6	3.5	21			0			0	21			0			0	1	119	119	140	140	0.3	3.8	1.1	2.32	3.4
291	292	291-292	194	3.5	679	0.31	48	14.88				694	3.2	35	112	7	10	70	6.3	12.3	77	953	1093	2.3	2.7	6.2	18.1187	24.3
292	602	292-602	75	3.5	263			0	5.6	10	56	319	2.1	35	73.5			0			0	392	1485	3.1	2.6	8.0	24.6147	32.6
602	603	602-603										0										0	1485	3.1	2.6	8.0	24.6147	32.6
603	607	603-607			0			0			0	0	1.2	35	42			0	0.2	12.3	2	44	1530	3.2	2.6	8.2	25.3515	33.6
607	608	607-608	543	3.5	1901	0.125	96	12			0	1913	9.71	20-50	205			0	1.578	38	60	2177	3707	7.7	2.3	17.6	61.4327	79.0
														<b>†</b>								1303.5	5011	10.4	2.2	22.8	83.0335	105.9

l Varies SEP/ha to SOEP/ha depending on types of development in each location This is Page No. 367 of the Attachments of the Extraordinary Council Meeting of Blayney Shire Council held on 18 December 2024



# **Statement of Environmental Effects**

IN SUPPORT OF A DEVELOPMENT APPLICATION

Report No: 220022\_SEE Rev: 004B 27 June 2023 This is Page No. 368 of the Attachments of the Extraordinary Council Meeting of Blayney Shire Council held on 18 December 2024

STATEMENT OF ENVIRONMENTAL EFFECTS IN SUPPORT OF A DEVELOPMENT APPLICATION



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Document reference: 220022\_SEE\_004B

DOCUMENT	AUTHORISATION										
Revision	Revision Date	Report Details	Report Details								
A	14/04/23	For issue									
В	27/06/23	Updated to res	Updated to respond to Council RFI letter								
Prepared By		Reviewed By		Authorised By							
Hugh Shackcloth- Bertinetti	Shlutte	David Walker	Dulle	David Walker	Nul						

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STATEMENT OF ENVIRONMENTAL EFFECTS IN SUPPORT OF A DEVELOPMENT APPLICATION



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## 1. INTRODUCTION

Premise has been commissioned by Rovest Holdings Pty Ltd to prepare a Statement of Environmental Effects (SEE) to accompany a Development Application (DA) relating to land at the former Blayney Bowling Club, 62 Osman Street, Blayney. The site is located within the Blayney Shire Council (BSC) Local Government Area (LGA) and occupies an area of approximately 11,585m<sup>2</sup>. At the time of lodgement of this application, 62 Osman Street comprises eight allotments (refer to **Table 2**). Outside of the DA process, the eight (8) lots are to be consolidated. This will be finalised prior to occupation.

This development application seeks development consent for the use of the project site as motel accommodation including finalising of works on site to enable the use.

The SEE has been prepared and amended to address a number of matters raised following the original lodgement of the application. An overview of the history of the development application and approvals that currently apply to the site is provided in **Section 1.1** below.

This SEE has been prepared pursuant to the relevant provisions of the *Environmental Planning and Assessment Regulation 2021* and is provided in the following format.

- Section 2 of this report provides a description of the subject site and its locality.
- Section 3 outlines the proposed development.
- Section 4 details the planning framework applicable to the subject site and proposed development.
- Section 5 provides an assessment of the proposed development against the planning framework applicable to the subject site and proposed development.
- Section 6 provides a conclusion to the SEE.

## 1.1 History of site development

The recent history of the development of the site is summarised in **Table 1** and provides relevant context for this SEE. The following components of the development are currently approved.

- The change in use of the former bowling club building to an ancillary restaurant, bar, lounge and guest recreation, approved via BSC DA 99/2022.
- The erection of motel accommodation and associated signage in the western portion of the site, approved via BSC DA 2022/0006.

DA 2021/0004 previously provided approval for the consolidation and re-subdivision of site into two lots together with the erection of motel accommodation and signage in the eastern portion of the site. Two (2) modifications of the consent were lodged with and approved by BSC. Mod 1 provided for the deletion of the subdivision component and Mod 2 provided for amendments to condition 102. A construction certificate was issued by BSC for the approved works to the main building and addressing installation of services.

A determination by the NSW Land and Environment Court (LEC), however, has identified judicial errors in the Councils assessment and determination of DA 2021/004. As such, this application is provided to regularise the use of the land. A Building Information Certificate (BIC) has separately been lodged with Council to address compliance with the Building Code of Australia.

Document RefSubject and DateDA 2021/0004DA Approved, 10 October 2021		<b>Development Description</b> Consolidation and re-subdivision of the site to create two lots, minor fit-out of the existing main building and erection of	
---	--	--	--

Table 1	- History	of Deve	lopment	Application	
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Document Ref	Subject and Date	Development Description		
		<ul> <li>motel accommodation and signage in the eastern portion of the site accommodating 98 motel rooms at Stage 1 and 81 rooms at Stage 2.</li> <li>The original DA was subject to two subsequent modifications described below.</li> </ul>		
DA 2021/0004/1	MOD 1 Approved, 10 May 2022	This modification deleted the subdivision component of the approved development noting that all of the host lots were to be consolidated together into a single lot.		
DA 2021/0004/2	MOD 2 Approved, 10 May 2022	This modification was prepared following changes to condition 102 in relation to recommendations made by NSV Police.		
DA 2022/0006	DA Approved, 2 September 2022	<ul> <li>Erection of motel accommodation and associated signage the western portion of the site including:</li> <li>20 motel rooms with vehicular access to and from Osma Street and</li> <li>26 on-site parking spaces.</li> </ul>		
DA 99/2022	DA Approved, 19 December 2022	Change in use of the former bowling club building to an ancillary restaurant, bar, lounge and guest recreation.		

## 2. THE SITE & ITS LOCALITY

## 2.1 The Locality

As shown in **Figure 2**, the site occupies a large, western portion of the street block formed by Adelaide Street (east), Church Street (north), Osman Street (west) and Water Street (south). Adelaide Street forms part of the Mid-Western Highway which connects to Bathurst to the north and Cowra to the south. It also forms Blayney's main road with most of its retail, commercial and administrative services. Land to the west of Adelaide Street transitions along Church Street (connecting to Orange via Millthorpe) and Water Street to predominantly residential uses. The Blayney High School is located on the western side of Osman Street.

## 2.2 The Site

The site is currently formed of nine (9) allotments as detailed in Table 2.

Lot	Section:	DP	Address
1	•	162646	62 Osman Street
8	-	505215	62 Osman Street
20	+	569741	62 Osman Street
11	13	758121	62 Osman Street
12	13	758121	62 Osman Street
13	13	758121	62 Osman Street
14	13	758121	62 Osman Street

#### Table 2 - Allotments forming site.

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#### STATEMENT OF ENVIRONMENTAL EFFECTS IN SUPPORT OF A DEVELOPMENT APPLICATION



Lot:	Section:	DP	Address
10	-	1114679	62 Osman Street
1		718479	37 Water Street

62 Osman Street has an irregular shape with an area of 11,585m<sup>2</sup> with a frontage of 81.45 metres to Osman Street. Vehicular access is provided via a driveway from Church Street within the 9.195 metre-wide Lot 1 DP162646 located in the north of the site. The driveway leads to paved parking area at the rear of former bowling club building, which is positioned centrally within the site. Historically, three bowling greens were located to the west and south of the bowling club, however these have since been removed through the implementation of DA 2021/0004. No vehicular access to the site is currently available from Osman Street, however this frontage traditionally featured a pedestrian access, masonry fence and decorative planting of pencil pines. Following the approval of DA 2022/0006, these features are largely retained, noting that two new vehicular accesses from Osman Street are now provided.

The site is characterised by the former bowling club use, with a main two storey club house building in the centre of the site, together with outdoor bowling greens, car parking areas and various ancillary structures. The former bowling club building is unremarkable in appearance with limited streetscape value or architectural merit. The building is well set back from Osman Street with a minor streetscape presence.

The site has been the subject of a substantial works associated with the installation of services and modular units as provided for by DA 2021/0004.

A number of larger established trees are present in the east of the site within the former car parking area. Some of these have previously been approved for removal by Council and their removal is reflected via this application. These approvals have not been questioned or invalidated by the LEC.

The development site is depicted in Figure 1.

Lot 1 DP718479 is an adjacent lot located to the south of the development site which is in the same ownership as the development site and is included within this DA. The project would impact this adjacent lot with a requirement to discharge site stormwater via a proposed pipeline that extends through this lot.

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Figure 1 - Subject site



**ROVEST HOLDINGS** PTY LTD Proposed Motel This is Page No. 375 of the Attachments of the Extraordinary Council Meeting of Blayney Shire Council held on 18 December 2024



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# 3. THE DEVELOPMENT

## 3.1 Introduction

This application seeks consent to regularise the use of the site for the purposes of motel accommodation, together with the use of ancillary components that support the motel use, including car parking, services, landscaping and a motel reception and amenities on the ground floor of the existing building on site (referred to as the former bowling club building).

Separate to this DA process, eight (8) of the host lots would be consolidated together into a single allotment that would host the motel that is the subject of this DA, together with the approved motel rooms fronting Osman Street via DA 2022/0006 and the redeveloped former bowling club building, via DA 2022/0099. For the avoidance of doubt, Lot 1 DP718479 (to the south) would not form part of the consolidated lots and would remain as a separate adjacent lot.

The site is well suited for use as a motel, given its former use as a bowling club and relatively well shielded position in the context of the public domain. Auxiliary planting and fencing assists to ensure that the development integrates with the site.

The site will operate as a conventional motel, including taking bookings from the general public via online booking systems. It is acknowledged and expected, given the high demand for accommodation in the Blayney, Orange, Cabonne sub-region at present, that during the initial years, a high proportion of usage would be for commercial clients housing transient staff. This is not inconsistent with other accommodation providers in the region and does not preclude the use of the site by other tourists and visitors.

The proposed motel development will in part respond to the surge in demand in the region occurring as a result of an influx of construction workers. The proposed development, however, is not solely designed to meet the need for construction workers and permanent approval is sought to meet the shortage of accommodation across the region to host tourists and visitors.

Given the expected levels of usage associated with workers and the single motel room model, car parking has been provided at a lower rate than reflected in Council's Development Control Plan in an acknowledgement of the expected reality that many guests will be arriving by bus from the local airports and train stations. Transport would be expected to be provided for commercial guests to their workplaces. As further discussed in **Section 5.2** and the attached traffic study (**Appendix H**), the provision of parking spaces is considered acceptable in comparison to the surrounding traffic environment, the former use of the site as a bowling club and its proposed use as motel accommodation.

As detailed in **Section 1.1** the development site has been the subject of several other development applications, including current approvals for the erection of signage and accommodation in the western portion of the site.

## 3.2 Existing works

This application seeks consent for the continued use of the existing works on site for the purposes of motel accommodation, including completion of site works (refer **Section 3.3**), together with the regularisation of buildings on site and ancillary components that support the motel use, including car parking, services, landscaping and a motel reception and amenities on the ground floor of the existing building on site (referred to as the former bowling club building).

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Consent is sought for the authorisation and use of the following aspects of the development, which have been completed on the site at the time of lodgement of this development application:

- Sewer, water and electrical services installed on the site to serve the motel use as per BRS Drawing 210531-01-021 provided in Appendix D and the BRS Sewer Report provided in Appendix F;
- Bulk earthworks completed at the site to facilitate the development together with the installed stormwater management measures (detention and underground pipework)– as per BRS Drawings 011, 021, 701, 702, 703, 801 and 811 provided in Appendix D and Appendix E;
- Concreted car parking areas and driveway access to the site (connecting to Church St) as per BRS
   Drawing 711 and 801 provided in Appendix A;
- Fit out of a portion of the ground floor of the existing (former bowling club) building to provide a motel reception, amenities and staff areas as per Premise Drawing A011 and A012 provided in Appendix A (noting that this phase of the development was subject to a construction certificate issued by Blayney Shire Council, including the carrying out of Council inspections);
- Structural footings constructed to accommodate a total of 26 modular accommodation buildings as per Premise Drawing A004 provided in Appendix A;
- 25 modular buildings installed atop the abovementioned footings as per Premise
   Drawing A004provided in Appendix A. For the purposes of clarity, one set of footings has been installed however the building has not been delivered to site. The delivery of that building, and amendment of that building to provide disabled accessible rooms, is a component of this development application.

## 3.3 Proposed Works

In terms of proposed works, consent is sought for the following specific matters (as shown in the Project drawings attached at **Appendix A**):

- 1. The authorisation and use of the 25 accommodation buildings on site, including completion of necessary works to provide a total of 92 single bed motel rooms;
- 2. The delivery of the 26<sup>th</sup> building to site, which provides two (2) further disabled accessible rooms, including connection of existing installed underground services and authorisation for use;
- The refit of two (2) existing modular buildings to provide four (4) disabled accessible rooms, bringing the total number of disabled accessible rooms on site to six (6) (noting an additional two (2) rooms are provided in stage 3, as approved via DA 06/2022) and total motel rooms in stage 1 being 102 (92 single, 4 double and 6 disabled accessible) – as reflected in **Premise Drawing A008, A009 and A010** provided in **Appendix A**;
- 4. The completion and use of 81 at grade parking spaces (including seven (7) disabled accessible spaces) and existing internal driveway connecting from Church Street to the north of the development site.
- 5. The installation of a 1m x 1m illuminated sign along the Church Street frontage to advertise the motel, utilising an existing pylon associated with the former bowling club use.
- 6. The completion/connection and authorisation for use of the necessary services already installed on site (i.e., sewerage, water and electricity).
- 7. Continued development and finalisation of works to a portion of the ground floor of the former bowling club building to provide a reception area, communal kitchen and laundry, storage rooms and male and female amenities, together with the ongoing use of this area in relation to the proposed motel use of the site.
  - 8. The continued development, finalisation and ongoing use of associated boundary fencing and landscaping including screened garbage bin enclosures.

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 Use of the concrete car parking and driveway areas in relation to the motel use of the site as sought by points 1-3.

The arrangement of the modular units has been carefully designed to make effective use of the site, whilst ensuring that the development integrates with the surroundings, including installing the modular buildings on the former bowling greens and other cleared areas. Areas historically used for car parking would continue to be used for parking for the proposed motel development.

The development will employ up to 10 cleaning and administration staff, who will visit the site daily to perform cleaning, maintenance and management responsibilities.

24 hour check-in will be possible via utilisation of digital and/or traditional methods of entry.

Lighting would be installed within the site to provide a safe and secure environment. It would be designed to satisfy the requirements of *4282-1997 Control of the obtrusive effects of outdoor lighting* to ensure impacts to adjacent landowners are minimised.

An existing right of way exists in favour of Lot 21 DP569741 and this would be maintained. An existing informal arrangement provides access to the rear of Lot 79 DP1137273. This would be formalised on the new title to provide legal access to the rear of this lot.

# 4. STATUATORY PLANNING FRAMEWORK

### 4.1 Environmental Planning and Assessment Act 1979

### 4.1.1 AIMS & OBJECTIVES

In New South Wales (NSW), the relevant planning legislation is the *Environmental Planning and Assessment Act 1979* (EP&A Act). The EP&A Act instituted a system of environmental planning and assessment in NSW and is administered by the Department of Planning & Environment (DPE). In 2017, the Act was amended to provide a range of updated objects. The objects of the EP&A Act are:

(a) to promote the social and economic welfare of the community and a better environment by the proper management, development and conservation of the State's natural and other resources,

(b) to facilitate ecologically sustainable development by integrating relevant economic, environmental and social considerations in decision-making about environmental planning and assessment,

(c) to promote the orderly and economic use and development of land,

(d) to promote the delivery and maintenance of affordable housing,

(e) to protect the environment, including the conservation of threatened and other species of native animals and plants, ecological communities and their habitats,

(f) to promote the sustainable management of built and cultural heritage (including Aboriginal cultural heritage),

(g) to promote good design and amenity of the built environment,

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(h) to promote the proper construction and maintenance of buildings, including the protection of the health and safety of their occupants,

*(i) to promote the sharing of the responsibility for environmental planning and assessment between the different levels of government in the State,* 

*(j) to provide increased opportunity for community participation in environmental planning and assessment.* 

The proposed development is not considered to be antipathetic to the above objects.

### 4.1.2 SECTION 1.7

Section 1.7 of the EP&A Act provides that it is subject to the provisions of Part 7 of the Biodiversity Conservation Act 2016 (the BC Act) and Part 7A of the Fisheries Management Act 1994. Part 7 of the BC Act relates to biodiversity assessment and approvals under the EP&A Act. Part 7 of the BC Act relates to biodiversity assessment and approvals under the EP&A Act. Under section 7.2(1) in Part 7 of the BC Act, a development or activities is "likely to significantly affect threatened species" if it meets or exceeds one of three triggers. The proposed development is not "likely to significantly affect threatened species" as demonstrated in Table 2.

	elopment or an activity is <i>likely to</i> ificantly affect threatened species	Comment:
(a)	<i>it is likely to significantly affect threatened species or ecological communities, or their habitats, according to the test in section 7.3, or</i>	The site is highly disturbed as a result of previous land clearing and development. Vegetation on site is generally limited to non-native species planted in conjunction with the former land use. Given this, no significant impacts to threatened species or ecological communities, or their habitats are anticipated.
(b)	the development exceeds the biodiversity offsets scheme threshold if the biodiversity offsets scheme applies to the impacts of the development on biodiversity values, or	Section 7.4 of the BC Act provides that development exceeds the biodiversity offsets scheme threshold if it is of an extent or kind that the <i>Biodiversity Conservation</i> <i>Regulation 2017</i> (the BC Regulation) declare to be development that exceeds the threshold. Section 7.1(1) of the BC Regulation provides that development exceeds the biodiversity offsets scheme threshold for the purposes of Section 7.4 of the BC Act if is or involves the clearing of native vegetation:
		<ul> <li>(a) Of an area declared by section 7.2 of the BC Regulation as exceeding the threshold, being 0.25 hectares or more where the applicable minimum lot size is one hectare or less; or</li> </ul>
		(b) On land included on the Biodiversity Values Map.
		The site has a mapped minimum lot size of 1,000 m <sup>2</sup> such that the relevant clearing threshold for the site is 0.25 hectares. The development does not propose to clear more than 0.25 hectares of native vegetation.
		The site does not contain land mapped via the Biodiversity

#### Table 3 - Section 1.7

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	elopment or an activity is <i>likely to</i> <i>ificantly affect threatened species</i>	Comment:
		Values Map.
(c)	<i>it is carried out in a declared area of outstanding biodiversity value</i>	Section 3.6 of the BC Act provides that the BC Regulations may make provisions for or with respect to the declaration of an area of outstanding biodiversity value. Areas of outstanding biodiversity value are identified under Part 3 of the BC Regulation.
		The site is not located within a declared area of outstanding biodiversity value under Part 3 of the BC Regulation.

### 4.1.3 SUBORDINATE LEGISLATION

The EP&A Act facilitates the preparation of subordinate legislation, consisting of:

- Environmental Planning Instruments (EPIs) (including State Environmental Planning Policies (SEPP), Local Environmental Plans (LEP), and deemed EPIs); and
- Development Control Plans (DCP).

In relation to the proposed development, the relevant subordinate legislation includes:

- Blayney Local Environmental Plan 2012 (the BLEP 2012);
- State Environmental Planning Policy (Biodiversity and Conservation) 2021 (the Biodiversity SEPP),
- State Environmental Planning Policy (Industry and Employment) 2021 (the Industry SEPP);
- State Environmental Planning Policy (Resilience and Hazards) 2021 (the Hazards SEPP);
- State Environmental Planning Policy (Transport and Infrastructure) 2021 (the Infrastructure SEPP); and
- Blayney Development Control Plan 2018 (the BDCP 2018).

The requirements of these are discussed in Section 4.2 the following sections.

### 4.1.4 INTEGRATED DEVELOPMENT

Section 4.46 of the EP&A Act states that development requiring consent and another activity approval is defined as Integrated Development. The proposal is not considered to represent integrated development on the basis that, pursuant to Section 4.46(1) of the EP&A Act, no listed external approvals or consents are required to facilitate the development.

For the avoidance of doubt, the requirement to gain Section 68 approval for service connections does not render the development integrated. Additionally, as section 68 was previously granted by Council, and has not been listed in the draft orders by the Court, it is assumed these approvals remain in effect.

Whilst the development has a frontage to a classified road (Church St), the development is not integrated on the basis that Blayney Shire Council remain the roads authority.

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### 4.2 Planning Instruments

### 4.2.1 BLAYNEY LOCAL ENVIRONMENTAL PLAN 2012

4.2.1.1 Introduction

The site is located within the Blayney Local Government Area (LGA) and the *Blayney Local Environmental Plan* 2012 (LEP) is the appropriate environmental planning instrument applying to the site. The aims of the LEP are:

(1) This Plan aims to make local environmental planning provisions for land in Blayney in accordance with the relevant standard environmental planning instrument under section 3.20 of the Act.

(2) The particular aims of this Plan are as follows-

(a) to encourage development that complements and enhances the unique character and amenity of Blayney including its settlements, localities, and its rural areas,

(b) to provide for a range of development opportunities that will contribute to the social, economic and environmental resources of Blayney in a way that allows present and future generations to meet their needs by implementing the principles of ecologically sustainable development,

(c) to facilitate and encourage sustainable growth and development that-

*(i) avoids and minimises risks to human life and property and minimises the cost of development by restricting development in areas prone to natural hazards and significant environmental constraints, and* 

*(ii) protects, enhances and conserves prime agricultural land and the contribution that agriculture makes to the regional economy, and* 

(iii) avoids or minimises impact on drinking water catchments to protect and enhance water availability and safety for human consumption, and

(iv) protects and enhances environmentally sensitive areas, ecological systems, areas of a high scenic, recreational or conservation value, and areas that have potential to contribute to improved environmental and scenic outcomes, and

(v) protects and enhances places and buildings of environmental, archaeological, cultural or heritage significance, including Aboriginal relics and places, and

(vi) encourages the sustainable management, development and conservation of natural and human-made resources whilst avoiding or minimising any environmental and social impacts, and

(vii) encourages a range of housing choices in planned urban and rural locations to address population growth and meet the diverse needs of the community, and

(viii) allows for the orderly growth of land uses while minimising conflict between land uses within the zone and land uses within adjoining zones, and

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*(ix) promotes the efficient and effective delivery of utilities, infrastructure and services that minimises long-term costs to government, authorities and the community.* 

It is not considered that the proposed development is antipathetic to the above aims. Specifically, the proposed development would positively contribute to the social, economic and environmental resources of Blayney, facilitates sustainable growth, and represents the orderly development of land via the development of a permissible use.

#### 4.2.1.2 Mapping

A review of mapping associated with the LEP identifies constraints to be considered in the assessment of the application, together with relevant sections of the LEP that require consideration. These are set out in **Table 4**.

Мар	Relevance	Section of the report discussed
Land Application Map	The site is identified as located within the Blayney LGA	No further discussion required
Land Zoning Map	The site is zoned E1 - Local Centre	Refer Section 4.2.1.3
Minimum Lot Size	The site is mapped as having a minimum lot size of 1000 m <sup>2</sup>	Refer Section 4.2.1.4
Heritage	The subject site is mapped as being located within the Blayney Heritage Conservation Area. Additionally, a number of local heritage items bound the site.	Refer Section 4.2.1.5

#### Table 4 - LEP Mapping Review

The above matters, together with other relevant LEP sections, are discussed in the following sections.

#### 4.2.1.3 Land Use Zoning

The site is located within the E1 – Local Centre zone (refer Figure 3). The objectives of the E1 zone are:

• To provide a range of retail, business, entertainment and community uses that serve the needs of people who live in, work in and visit the local area.

- · To encourage employment opportunities in accessible locations.
- · To maximise public transport patronage and encourage walking and cycling.
- To preserve Adelaide Street as the retail and commercial centre of the Town of Blayney to support the needs of Blayney.

The development is considered to be consistent with the above objectives.

The proposed development represents motel accommodation, which is a form of Tourist and Visitor Accommodation. Tourist and visitor accommodation is defined as:

a building or place that provides temporary or short-term accommodation on a commercial basis, and includes any of the following—...

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(d) hotel or motel accommodation,

Motel accommodation is defined as:

a building or place (whether or not licensed premises under the Liquor Act 2007) that provides temporary or short-term accommodation on a commercial basis and that—

(a) comprises rooms or self-contained suites, and

(b) may provide meals to guests or the general public and facilities for the parking of guests' vehicles, but does not include backpackers' accommodation, a boarding house, bed and breakfast accommodation or farm stay accommodation.

'Tourist and Visitor Accommodation' is a permitted land use within the E1 zone on the basis that the development type is not listed in Part 4 of the LEP E1 Land Use Table and developments not listed in Part 4 are permitted with consent on the basis that Part 3 permits any uses not listed in Part 4.

The proposed use is considered to be most appropriately characterised as motel accommodation on the basis that it provides rooms/self-contained suites for temporary/short term accommodation for visitors to the region. Visitors are made up of:

- Traditional tourists visiting the region;
- Traditional visitors visiting the region for the purposes of work or other non-tourism related purposes; and
- Short term workers associated with commercial clients.

On the basis of the above, the proposed use is most appropriately characterised as a motel accommodation and is therefore permitted with consent.

The modular units are built to a high standard of construction, with excellent sound and temperature insulation properties, to ensure a high quality of accommodation for guests and in compliance with the relevant provisions of the National Construction Code of Australia.



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Figure 3 - Land zoning Premise A**ROVEST HOLDINGS** PTY LTD Proposed Motel Legend CHURCH STREET Site ADELAIDE LA Cadastre Road Depa Land Zoning (LZN) NSM E1 R1 C State of ources: R1 OSMAN STREET EI ADELAIDE STREET /04/2023 Date: zindia.nanver ared By: BURNS STREET WATER STREET 50m PAGE 14

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#### 4.2.1.4 Minimum Lot Size

Section 4.1 of the Blayney LEP relates to the minimum lot sizes of identified land within the LGA. The objectives of section 4.1 are as follows:

- (1) The objectives of this clause are as follows-
- (a) to minimise the cost to the community of-
- (i) the fragmented and isolated development of rural land, and
- (ii) providing, extending and maintaining public amenities and services,

(b) to ensure that the character and landscape setting of an area is protected and enhanced by any development,

(c) to ensure that development is undertaken on appropriately sized parcels of land commensurate with available services (including any associated sewerage system) and responds to any topographic, physical or environmental constraints,

(d) to protect drinking water catchments from over-development that may impact on water quality and quantity in the catchment and drinking water systems.

The minimum lot size applying to the land by reference to the lot size map is 1,000 square metres.

The site currently consists of a total of nine lots, eight of which will be consolidated into a single lot with an area of 11,585 square metres. The consolidated lot will achieve the minimum lot size and the development is therefore consistent with section 4.1. No change is proposed to 37 Water Street.

### 4.2.1.5 Heritage conservation

Pursuant to section 5.10(2) of the BLEP 2012, development consent is required for development on land that is within a heritage conservation area. Where consent is required, the consent authority must in accordance with section 5.10(4), consider the effect of the proposed development on the heritage significance of the item or area concerned.

The proposed development requires development consent under section 5.10(2) on the basis that it proposed on land within the Blayney Heritage Conservation Area (C1). Additionally, the site is located:

- On a street block accommodating a number of heritage items including the Royal Hotel (I19), Club House Hotel (C22), National Australia Bank (former CBC Bank and stables) (I23), St James' Catholic Church (former Town Hall) (I24), St Paul's Presbyterian Church and house (I26), Surgery and residence (I28), Shop (Starlight Café) (I30), House (I51), House (I53), Two storey house and cottage (I55) and Residence (former Railway Institute of the Arts) (I109);
- Adjoining Street trees (I88) on Osman Street; and
- Opposite I105 Old growth Elm Trees and Hoop Pine trees (Blayney High School).

Figure 4 demonstrates the heritage context of the site.

The objectives of section 5.10 of the LEP relate to the consideration and protection of items of state and local heritage significance:

(a) to conserve the environmental heritage of Blayney,

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(b) to conserve the heritage significance of heritage items and heritage conservation areas, including associated fabric, settings and views,

(c) to conserve archaeological sites,

(d) to conserve Aboriginal objects and Aboriginal places of heritage significance.

The proposed development is not considered to impact the heritage value of the surrounding heritage items. The design of the proposed motel would be sympathetic of the heritage value of the area.

A statement of heritage impact (SoHI) prepared by Kate Higgins is attached as Appendix C.

The SoHI forms the following conclusions:

Heritage conservation is not about preserving heritage significant places without allowing change. Rather it is about understanding what is significant about a place before deciding on appropriate change. The impact of the proposed new motel has been considered with regard to the setting of the heritage items in the immediate vicinity of the subject site, and with regard to the character of the Blayney Heritage Conservation Area. After a careful assessment it is concluded that, subject to the recommendations below, the proposed works will have a limited and acceptable impact on the heritage significance, and would satisfy the heritage provisions of Blayney Local Environmental Plan 2012.

Subject to a number of recommendations, it is determined that the development would not result in unacceptable impact to the heritage significance of the locality. These recommendations are reflected in **Section 5.5.2**.

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Figure 4 - Heritage

OSMAN STREET



Item - General

Premise

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4.2.1.6 Stormwater management

Section 6.2 of the BLEP seeks to:

...minimise the impacts of urban stormwater on land to which this clause applies and on adjoining properties, native bushland and receiving waters.

The section is applicable to the subject site as it is located within a business zone (6.2(2)).

Subject to section 6.2(3):

(a) is designed to maximise the use of water permeable surfaces on the land having regard to the soil characteristics affecting on-site infiltration of water, and

(b) includes, if practicable, on-site stormwater retention for use as an alternative supply to mains water, groundwater or river water, and

(c) avoids any significant adverse impacts of stormwater runoff on adjoining properties, native bushland and receiving waters, or if that impact cannot be reasonably avoided, minimises and mitigates the impact.

Barker Ryan Stewart (BRS) have prepared a stormwater management report (SMP) in relation to the project, provided as **Appendix E**. The SMP makes the following recommendations:

- 1. The proposed development will be drained to an above ground on-site detention basin system before discharging to a new inlet pit in Water Street.
- 2. The existing upstream catchment draining into the site will be captured and conveyed through the site and drain into Water Street.
- 3. A portion of roof water from the accommodation buildings will be diverted to the existing above ground rainwater tank, which is to be reused on site for toilet flushing and irrigation.
- 4. The roof water tank will have an overflow, which will be diverted to the OSD basin.
- 5. The proposed development will have a beneficial impact on the quality of stormwater leaving the site through the installation of a rainwater tank and OceanGuard pit inserts.

In the context of the above recommendations and the requirements of Section 6.2(3), the following is noted:

- (a) The site features an array of developed and hard stand areas, together with landscaping and permeable paving. Largely, the existing car parking areas are to be re-used and accommodation buildings have been placed on former bowling greens or former hard stand areas. Car parking areas would be used for the management of stormwater and detailed design confirms that post development flows provide a reduction in run off compared to the pre-development level. Permeable paving would be used in the eastern car parking area as shown in Appendix E, Drawing 210531-01-102.
- (b) Opportunities for stormwater re-use for grey water are being investigated. Rainwater is to be captured on site and reused where possible as reflected in point 3 above.
- (c) The site is suitably sized to enable the on-site detention and management of stormwater to ensure no detrimental impacts to the locality. Reduction to offsite flows are provided by the proposed arrangement, resulting in a beneficial outcome.

A stormwater management plan is provided (refer Premise Drawing 03A\_C001).

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Stormwater modelling was undertaken using the ILSAX hydrological model in watercom 'DRAINS' software. As outlined in Section 3.2 of **Appendix E**, post development flows would be maintained or reduced under the developed scenario.

On the basis of the above, the development is considered to be acceptable in the context of section 6.2.

4.2.1.7 Essential Services

Section 6.8 states:

Development consent must not be granted to development unless the consent authority is satisfied that any of the following services that are essential for the development are available or that adequate arrangements have been made to make them available when required—

- (a) the supply of water,
- (b) the supply of electricity,
- (c) the disposal and management of sewage,
- (d) stormwater drainage or on-site conservation,
- (e) suitable vehicular access.

The following is noted in the context of section 6.8:

- (a) The site is connected to the town reticulated water network, and these connections would be augmented to ensure sufficient supply of water to the development. This is further discussed in Section 5.5. Proposed connections are demonstrated in the BRS drawings at Appendix D.
- (b) The site is connected to the reticulated electricity network. The site has historically accommodated loads associated with the bowling club development, and these would be augmented as required to supply the proposed development. There is adequate room on site to accommodate any necessary infrastructure.
- (c) The site is connected to the sewer reticulated water network, and these connections would be augmented to ensure sufficient supply of water to the development. This is further discussed in Section 5.5. Proposed connections are demonstrated in the BRS drawings at Appendix D. The capacity of the network to receive sewage is outlined in Appendix F.
- (d) Refer Sections 4.2.1.6 and 5.13, and Drawing 03A\_C001.
- (e) The site features a two way access to Church Street and this would be upgraded to provide safe ingress and egress for vehicles refer **Appendix A**, **Section 5.2** and **Appendix H**.

On the basis of the above, the development is considered to be acceptable in the context of section 6.8.

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### 4.2.2 STATE ENVIRONMENTAL PLANNING POLICY (BIODIVERSITY AND CONSERVATION) 2021

Chapter 2 of the Biodiversity SEPP relates to vegetation in "non-rural areas of the State", defined in section 2.3 as land with any non-rural zoning. This includes the E1 Local Centre zone applying to the site under the BLEP 2012. Under section 2.6 of the SEPP, a person must not clear native vegetation in a non-rural area of the State:

- 1. To which Part 3 (understood to actually be a reference to Part 2.3) of the Biodiversity SEPP applies without the authority conferred by a permit granted by Council under that Part; or
- 2. That exceeds the biodiversity offsets scheme threshold without the authority conferred by an approval granted by the Native Vegetation Panel under Part 2.4.

Section 2.9 of the SEPP provides that Part 2.3 applies to any vegetation in a non-rural area of the State that is declared by a development control plan by reference to the species, size or location of vegetation or the presence of vegetation in an ecological community or in the habitat of a threatened species. A review of the BDCP 2018 reveals no specific controls applying with respect to tree removal. Furthermore, the proposed development does not require the removal of any vegetation. As such, the Biodiversity SEPP is not considered to apply to the development.

The site does not contain any significant areas of native vegetation and therefore the project will not exceed the clearing threshold – refer **Sections 4.1.2** and **5.10**.

### 4.2.3 STATE ENVIRONMENTAL PLANNING POLICY (INDUSTRY AND EMPLOYMENT) 2021

Chapter 3 of the Industry SEPP relates to advertising and signage. It applies to the whole of the State, with the exception of land to which S*tate Environmental Planning Policy (Kosciuszko National Park—Alpine Resorts) 2007* and *State Environmental Planning Policy (Western Sydney Parklands) 2009* applies. Section 3.6 of the SEPP provides that signage must be consistent with the objectives of Chapter 3, as well as the assessment criteria specified in Schedule 5.

The proposed reuse of the existing pylon sign support column (formerly associated with the Bowling Club) on Church Street at the property entrance for the purposes of a new 1m x 1m sign to advertise the motel is considered against the objectives of the Industry SEPP and assessment criteria of Schedule 5 in the following sections.

Other signage within the site proposed would not be visible from the public domain, and therefore SEPP64 does not apply to these. A separate sign which repurposes an existing pylon sign (formerly associated with the Bowling Club) on Osman Street forms the subject of a separate development application associated with the western portion of the site (DA 2022/0006).

### 4.2.3.1 Objectives of Chapter 3

The proposed development is considered against the objectives of Chapter 3 of the Industry SEPP in **Table 5** below.

(1)	This	This Policy aims –		Comment:	
	(a)	to ensure that signage (including advertising)—			
		(i)	is compatible with the desired amenity and visual character of	The proposed sign is discrete, limited to one by one metre, ensuring that it will not have	1

### Table 5 - Objectives of Chapter 3 of the Industry SEPP

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		an area, and	any impact on the desired amenity and visual character of the area.	
	(ii)	provides effective communication in suitable locations, and	The content of the proposed sign communicates the use of the site for the purposes of the Blayney Motel.	1
	(iii)	is of high quality design and finish, and	The proposed sign has high quality design and finish.	~
(b)		egulate signage (but not content) er Part 4 of the Act, and	Noted.	~
(c)		rovide time-limited consents for display of certain advertisements,	A time-limited consent is not appropriate for the site or development.	N/A
(d)		egulate the display of ertisements in transport corridors,	The proposed sign is not located within a transport corridor.	N/A
(e)	deri	nsure that public benefits may be ved from advertising in and cent to transport corridors.	The proposed sign is discrete, limited to one by one metre, ensuring that it will not have any impact on Church Street.	1

### 4.2.3.2 Schedule 5 of the Industry SEPP

The proposed development is considered against the assessment criteria in Schedule 5 of the Industry SEPP in **Table 6** below.

As	sessment Criteria:	Comment:
ŧ.	Character of the area	
	<ul> <li>Is the proposal compatible with the existing or desired future character of the area or locality in which it is proposed to be located?</li> </ul>	The site is located in the commercial core area of Blayney and within the Blayney Conservation Area. No statement of significance of the conservation area is available.
		Character is a subjective term and can be applied, by reference to the Land and Environment Court planning principles, to either the existing/prevailing character or by reference to emerging character. Consistency in planning terms can also be defined as compatibility. Compatible can be taken as 'capable as existing together in harmony' (Project Venture Developments v Pittwater Council [2005] NSWLEC 191). Character within the locality is influenced by the nature of surrounding land uses, the road network and the character of heritage buildings. The subject site is not generally visible from the street.
		Proposed signage would be installed to identifying the site and is consistent with the height of surrounding buildings and the former pylon sign on the site (noting this is located on Osman St – refer

#### Table 6 – Schedule 5 of the Industry SEPP

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As	ssessment Criteria:	Comment:					
		<b>Figure 5</b> ). Signage adjacent to the site is reflected in <b>Figure 6</b> . The proposed sign is discrete, limited to one by one metre, ensuring that it will not have any impact on the desired amenity and visual character of the area. It is consistent with the scale of signage in the locality and does not detract from the heritage significance of the conservation area.					
	<ul> <li>Is the proposal consistent with a particular theme for outdoor advertising in the area or locality?</li> </ul>	Yes; the area is a commercial core featuring a range of external advertising. The proposed advertising is consistent with these existing forms of advertising.	N/A				
2	Special areas						
	<ul> <li>Does the proposal detract from the amenity or visual quality of any environmentally sensitive areas, heritage areas, natural or other conservation areas, open space areas, waterways, rural landscapes or residential areas?</li> </ul>	No, the proposed signage is appropriately integrated into the characteristics of the site to ensure the visual amenity and visual quality of the streetscape is not detracted from.	1				
3	Views and vistas						
	<ul> <li>Does the proposal obscure or compromise important views?</li> </ul>	No, the proposed signage is appropriate in size and scale in the context of the character of the public domain.	1				
	<ul> <li>Does the proposal dominate the skyline and reduce the quality of vistas?</li> </ul>	No, the proposed freestanding sign is consistent with the height of other signage in the locality. Given the flat grade of the road, the proposed freestanding sign ensures sufficient visibility and sight lines for traffic to provide them with ample opportunities for safe decision making in terms of accessing the site.	~				
	<ul> <li>Does the proposal respect the viewing rights of other advertisers?</li> </ul>	Yes. The scale and appearance of the signage is consistent with that of other advertisements and does not detract from these.	~				
4	Streetscape, setting or landscape						
	<ul> <li>Is the scale, proportion and form of the proposal appropriate for the streetscape, setting or landscape?</li> </ul>	Yes, the proposed signage is consistent with the scale of the area and is appropriately designed to minimise any impacts to the public domain.	~				
	<ul> <li>Does the proposal contribute to the visual interest of the streetscape, setting or landscape?</li> </ul>	Yes, the signage is considered to be both reflective of the style of the proposed motel and with the character of the conservation area, and positively contributes to the character of the locality.	1				
	<ul> <li>Does the proposal reduce clutter by rationalising and simplifying existing advertising?</li> </ul>	There is no significant signage associated with the former bowling club use. By utilising the existing pylon, signage is simple in the locality in keeping with the character.	~				

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Assessment Criteria:		Comment:		
	<ul> <li>Does the proposal screen unsightliness?</li> </ul>	No unsightliness present.	N/A	
-	<ul> <li>Does the proposal protrude above buildings, structures or tree canopies in the area or locality?</li> </ul>	The proposed sign does not protrude above buildings, structures or tree canopies in the area or locality.	~	
	<ul> <li>Does the proposal require ongoing vegetation management?</li> </ul>	The proposal does not require ongoing vegetation management.	N/A	
5	Site and building			
	<ul> <li>Is the proposal compatible with the scale, proportion and other characteristics of the site or building, or both, on which the proposed signage is to be located?</li> </ul>	Yes, the proposed advertising is consistent with the design of the host buildings and forms a positive relationship with the host building.	*	
	<ul> <li>Does the proposal respect important features of the site or building, or both?</li> </ul>	The proposed sign does not detract from the important features of the site or building.	1	
	<ul> <li>Does the proposal show innovation and imagination in its relationship to the site or building, or both?</li> </ul>	The proposed sign shows innovation in its relation to the site and building through its discrete nature and simple design.	1	
5	Associated devices and logos with advertisements and advertising structures			
	<ul> <li>Have any safety devices, platforms, lighting devices or logos been designed as an integral part of the signage or structure on which it is to be displayed?</li> </ul>	The proposed sign depicts the words "Blayney Motel" to signify the use of the site. This may be slightly amended to include the word restaurant, but as this relates to the content of the signage, it is not subject to approval via the DA process. In any event, styles used would be consistent with the detail provided in the indicative signage detail provided in <b>Appendix A</b> .	~	
7	Illumination			
-	<ul> <li>Would illumination result in unacceptable glare?</li> </ul>	Proposed signage will be dimly lit to allow it to be read at night-time, without resulting in unacceptable glare.	1	
	<ul> <li>Would illumination affect safety for pedestrians, vehicles or aircraft?</li> </ul>	Proposed signage will be dimly lit to allow it to be read at night-time, without impacting safety for pedestrians, vehicles or aircraft.	~	
	<ul> <li>Would illumination detract from the amenity of any residence or other form of accommodation?</li> </ul>	Proposed signage will be dimly lit to allow it to be read at night-time, without impacting the amenity of nearby residences or other accommodation.	1	
	<ul> <li>Can the intensity of the illumination be adjusted, if necessary?</li> </ul>	Council may impose a suitable condition of consent requiring that internal illumination of the proposed signage is adjustable.	1	
	Is the illumination subject to a	The illumination is not subject to a curfew.	N//	

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As	sess	sment Criteria:	Comment:	
		curfew?		
8	Sat	fety		
		Would the proposal reduce the safety for any public road?	The limited size, height, positioning and illumination of the proposed signage ensures that it will not impact the safety of surrounding streets.	~
		Would the proposal reduce the safety for pedestrians or bicyclists?	As above.	~
		Would the proposal reduce the safety for pedestrians, particularly children, by obscuring sightlines from public areas?	As above.	~





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Figure 6 - Surrounding signage



### 4.2.4 STATE ENVIRONMENTAL PLANNING POLICY (RESILIENCE AND HAZARDS) 2021

Chapter 4 of the Hazards SEPP relates to remediation of land. It provides a state-wide approach to remediation of contaminated land and aims to promote the remediation of contaminated land for the purpose of reducing the risk of harm to human health or any other aspect of the environment. Section 4.6 of the SEPP states that a consent authority must not consent to the carrying of development unless it has considered, among other things, whether the land is contaminated.

The site has a low likelihood of potential contamination due to continuous use for the purposes of a lawn bowls club since the 1930s and lack of sites identified within the BSC LGA under the EPA list of sites reported to the EPA as at 26 of November 2021 and the EPA contaminated land register. The change of use of the site from a bowling club to motel accommodation is not considered to introduce a more sensitive land use from a contamination perspective.

It is also noted, notwithstanding the judgement of the court, that Council has previously determined that the land is not contaminated and that the site is suitable for the proposed purpose without the need for remediation.

Accordingly, the development is considered to satisfy the requirements of Chapter 4 of the Hazards SEPP.

### 4.2.5 STATE ENVIRONMENTAL PLANNING POLICY (TRANSPORT AND INFRASTRUCTURE) 2021

Section 2.118(2) of the Infrastructure SEPP provides that, inter alia, a consent authority must not grant development consent to development with frontage to a classified road unless, where practicable and safe, vehicular access to the land is provided by a road other than the classified road, the safety, efficiency and ongoing operation of the classified road will not be adversely affected by the development and the development is of a type that is not sensitive to traffic noise or vehicle emissions.

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Section 2.122(4) of the Infrastructure SEPP provides that a consent authority must not grant development consent to a development of a size or capacity described under Schedule 3 of the Infrastructure SEPP unless it has given written notice of the application to TfNSW within 7 days after the application is made and takes into consideration any response provided by the RMS within 21 days, as well as the accessibility of the site and any potential traffic safety, road congestion or parking implications of the development.

The proposed development does not include any new vehicular access points to or from Church Street, nor does it propose additional parking spaces accessible from Church Street. Accordingly, impacts on Church Street are expected to be minimal.

A traffic study has been prepared to support the application, attached as **Appendix H**.. This study has found that the proposed development is acceptable in the context of the local traffic environment – refer **Section 5.2.** 

### 4.2.6 DEEMED ENVIRONMENTAL PLANNING INSTRUMENTS

There are no deemed environmental planning instruments known to affect the site.

### 4.2.7 DRAFT ENVIRONMENTAL PLANNING INSTRUMENTS

At the time of preparation of this report, there are no draft planning instruments applying to or affecting LEP clauses that affect the site.

### 4.2.8 DEVELOPMENT CONTRIBUTIONS PLANS

The Blayney Local Infrastructure Contributions Plan 2013 and the Development Servicing Plan for Sewerage Services apply to the Blayney LGA.

The Blayney Local Infrastructure Contributions Plan 2013 applies to residential and heavy haulage developments, and therefore does not apply to the proposed development.

As the proposed development would be connected to council sewer infrastructure, contributions in accordance with the Development Servicing Plan for Sewerage Services are applicable – refer **Section 5.4**.

### 4.2.9 DEVELOPMENT CONTROL PLANS

The *Blayney Development Control Plan 2018* (DCP) provides more detailed controls for development in addition to those set-out in the Local Environmental Plan (LEP). Parts D, E, G and H of the DCP are applicable to the proposed development. Part D provides controls for commercial and industrial development, Part G provides environmental management controls, and Part H provides heritage controls.

Relevant clauses of the DCP are addressed in **Appendix B**. By reference to that assessment, the development is considered to be acceptable in the context of the

# 5. IMPACTS, SITE SUITABILITY AND PUBLIC INTEREST

Pursuant to clause 24 of the EP&A Regulation, this section of the report outlines the environmental impacts of the proposed development and any measures required to protect the environment or lessen the harm to the environment.

The impacts have been identified through an assessment of the proposed development against the provisions of Section 4.15(1)(b) of the EP&A Act and the *Application Requirements* (Department of Planning and Environment 2022).

This section also addresses the consideration at Section 4.15(c) and Section 4.15(e) of the Act that relate to the suitability of the site for the development and the public interest.

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## 5.1 Context and Setting

The proposed development involves the development of a proposed motel at the former Blayney Bowling Club to be located at 62 Osman Street, Blayney.

The proposed motel development in this location is considered to be a compatible land use given the commercial zoning of the site and the commercial development nearby. It is noted that the Council have previously assessed and determined DA 2021/0004 and confirmed the suitability of the site for a motel use. This use was not in dispute during the associated LEC hearing and judgement with respect to DA 2021/0004.

The scale of the proposed modular buildings would be consistent with the buildings in the surrounding locality. The proposed buildings would be well setback from the street and, subject to appropriate external colours, fencing, and landscaping, would not result in significant impacts to the visual character of the locality. The proposed buildings would be well setback from the public domain and well screened – refer **Premise Drawing A005**.

## 5.2 Access, Transport and Traffic

Vehicular access to/egress from the proposed site is via the existing 9 metre wide driveway to Church Street. No change to this arrangement is required by virtue of this application.

The proposed motel would accommodate 102 motel rooms and provide 81 parking spaces. Up to 10 staff are anticipated in the daily operation of the motel, including cleaning, maintenance and management coordination.

DCP parking requirements state that parking should be supplied for motels on the basis of the following:

- One space per one unit;
- One space per 2 staff; and
- If restaurant Add 1 space per 6.5 m<sup>2</sup> of GLFA of restaurant.
- If function room Add 1 space per 3 seats.

On the basis of the above, the development generates the need for a minimum of 102 car parking spaces for motel rooms and 5 spaces for staff, 107 in total. The development proposes a total of 81 parking spaces, a deficiency of 26 spaces.

The justification for this reduction in spaces is due to a number of factors, namely:

- In the initial years of operation, the motel is anticipated to provide a source of accommodation for workers on a range of large infrastructure projects currently occurring, or shortly coming on line, within the Blayney LGA, including:
  - The \$185 million Newcrest Cadia Gold Mine expansion, which generates the need for approximately 700-900 temporary construction workers over a period of 1-2 years;
  - The recently approved, McPhillamy's Gold Project 9 kilometres north of Blayney generating a need for approximately 650 temporary construction workers over the initial 3-4 year construction period;
  - The approved Flyers Creek Wind Farm expansion project generating a need for approximately 130 temporary construction workers over the construction period of the project
- Workers on these projects will typically arrive in the region by bus or plane and will similarly be transferred to the construction sites by bus, meaning that the demand for car parking on site will be lower than for a traditional motel development.

Notably, if parking is supplied for the 85<sup>th</sup> percentile level of usage (as recommended by the RTA Guide), 91 parking spaces are required. This reduces any deficiency to just ten spaces.

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It is further noted that DA 2022/0006 approved the development of a 20 room motel room with 26 car parking spaces on the site. This reduces the deficiency on site to four (4) spaces. Given the amount of unrestricted on street parking in the vicinity and the nearby proximity of parking areas, this minor deficiency is not considered unreasonable.

Under DA 2022/0099, for change of use of the former bowling club building as a restaurant and other ancillary purposes, no further on-site parking was proposed. This deficit was accepted by Council on the basis that:

- 10 to 20% of restaurant users that aren't also guests of the motel are likely to be residents of Blayney
  and surrounding areas. This, combined with the nature of the use, will encourage future guests to
  carpool (e.g. families), use local taxis or walk to and from the site. As such, the deficiency in parking
  associated with the restaurant component works are unlikely to generate significant traffic beyond that
  which is already contemplated under the various motel approvals.
- A deficit is predicated on the assumption of 100% occupancy at all times, and that all motel users will travel in a single vehicle per motel room. This assumption exceeds industry best practise, which targets average occupancy of 70-80%. As such, even at best estimates, parking associated with the un-utilised motel rooms will be available for use by restaurant patrons.
- A significant proportion of users will be visiting construction workers who will not travel in their own vehicle, potentially flying into Orange and being transferred to and from work sites by bus (in line with the assumptions outlined in the attached traffic study refer **Appendix H**).

The minor deficiency reflects that the development can be accommodated within the site without resulting in undue impacts to the local traffic environment.

In addition, while guests, like any other motel, may arrive late in the evening or leave early in the morning arrangements for bus transportation for construction workers is anticipated to mitigate potential issues related to the driver fatigue and minimise risks to surrounding roads. Levels of traffic, as set out in the attached traffic study (**Appendix H**), are expected to be low during the peak hour period and consistent with the former bowling club use with no greater impact to the local traffic environment.

On the basis of the above, the development is considered to be acceptable in the context of the local traffic environment.

## 5.3 Public Domain

The proposed development would not adversely impact on the public domain in terms of public recreational opportunities, public spaces surrounding the subject site or pedestrian linkages.

The proposed development is well visually shielded from the public domain, and, via the addition of fencing, landscaping, and through the use of appropriate colours, the project would be well integrated with the site and surroundings. A detrimental impact to the surrounding locality is not anticipated.

The short term duration of construction works would ensure that impacts to the public domain would be minimal.

# 5.4 Servicing

The site of the proposed motel historically housed the Blayney Bowling Club. Previous approvals and detailed design demonstrates that all necessary services are available on the site, and many of these have been augmented to facilitate the development. This application seeks to regularise these augmentation works (noting that the section 68 approvals previously granted do not appear to have been impacted by the LEC court judgment).

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Electricity services are available at the development site and have been augmented in accordance with the requirements of the relevant supply authority and without unreasonable burden to the community.

Water, sewer and stormwater services have largely been supplied as per the servicing plans prepared by Barker Ryan Stewart (BRS) – refer **Appendix D**. Section 68 approvals for these works are still in effect.

A sewerage servicing capacity has been completed for the site by Barker Ryan Stewart, which confirms that there is adequate capacity within the sewer network to accommodate sewer discharge from up 130 motel rooms at the site – refer **Appendix F**.

### 5.5 Heritage

### 5.5.1 ABORIGINAL HERITAGE

An online search on 14 April 2023 of the NSW Office of Environment and Heritage (OEH) Aboriginal Heritage Information Management System (AHIMS) confirms that there are no sites of Aboriginal heritage located in, on or near the site.

The site is a highly disturbed area as a result of urbanisation and is not located close to any landscape features where sites of Aboriginal significance would be expected to be found.

On the basis of the above, the requirements of the due diligence have been satisfied and the development may proceed with caution.

Should any 'objects' or other heritage features be identified during the course of construction, work in that area should cease immediately and be cordoned off and the Office of Environment and Heritage and/or a suitably qualified heritage specialist be contacted to discuss how to proceed.

### 5.5.2 HISTORIC HERITAGE

As noted, a number of mapped local heritage sites are located within the immediate vicinity. These items include the following:

- Item I24 St James' Catholic Church (former Town Hall)
- Item I28 Surgery and residence
- Item I23 National Australia Bank (former CBC Bank and stables)
- Item I26 St. Paul's Presbyterian Church
- Item I55 Two storey house and cottage
- Item 188 Street trees
- Item I109 Residence (former Railway Institute of the Arts)

The site is well hidden from the public domain, and additional treatments including use of appropriate materials and paint treatments, together with fencing and landscaping, assists to integrate the development with the locality.

As per **Section 4.2.1.5**, the proposed development is not considered to significantly impact the heritage significance of the site and locality subject to the adoption of the recommendations of the statement of heritage impact (**Appendix C**).

## 5.6 Other Land Resources

The development is not located within a water supply catchment, strategically significant agricultural land or on land the subject of a mineral exploration or mining licence.

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### 5.7 Water

The Belubula River is located approximately 260 metres to the east of the subject site and is not considered to be impacted by the proposed development.

Stormwater would be managed on site as discussed in Section 5.13.

### 5.8 Soils

### 5.8.1 EXISTING ENVIRONMENT

The site is located in urban location and is highly disturbed due to historic development and use of the site as a bowling club.

From a review of available mapping it is noted that the site is located in an area potentially exhibiting the characteristics of natural occurring asbestos – refer **Figure 7**.

### 5.8.2 POTENTIAL IMPACTS

Only minor earthworks associated with the footing/slab installation are anticipated. Excavation of greater than 1 metre would not be expected to be required.

The proposed motel units are proposed to be located in areas outside of the potential mapped NOA. The likelihood of encountering is NOA is considered low.

Experience obtained through the delivery of DA 2021/0004 reflects that the site does not contain NOA.

### 5.8.3 MITIGATION MEASURES

If NOA is identified at the site, work in that area would immediately cease and an Asbestos Management Plan would be prepared in accordance with the Code of Practise for the Management and Control of Asbestos in Workplaces [NOHSC: 2018 (2005)]

Erosion and sediment controls will be installed in accordance with the NSW Governments Managing urban stormwater: soils and construction, Volume 1, commonly referred to as "The Blue Book".

The proposed development is unlikely to result in adverse impacts on soils.



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Figure 7 - Naturally Occurring Asbestos

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## 5.9 Air And Microclimate

The proposed development is unlikely to result in adverse impacts on air and microclimate quality within the locality on the basis that there is no ongoing emissions associated with the use. Short term emissions during construction would be negligible and manageable.

## 5.10 Flora And Fauna

The proposed development site is generally cleared of substantial vegetation, with 20 established trees remaining on site. 14 of these are proposed to remain and six (6) would be removed to facilitate the project.

Those trees identified for removal are non-native, exotic spaces, and therefore, no impacts to significant flora and fauna are predicted as a result of the development.

More than 0.25 ha of clearing of native vegetation is not proposed. Given the cleared nature of the site, significant impacts to native flora and fauna communities are not predicted. On the basis that these two tests are not met, a Biodiversity Development Assessment Report is not required.

The site is not mapped via the biodiversity values map - refer Figure 8.

The site would be landscaped as an element of the project - refer Drawing A005.

On balance the proposal does not result in a significant impact and is therefore considered to be acceptable in the context of the BC Act.



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### 5.11 Waste

### 5.11.1 SOLID WASTE

Solid waste generated during the construction period would be disposed of at an appropriate waste facility in accordance with the specific measures outlined in **Section 5.23**.

Internal waste collection is provided at source with integrated waste collection at the activity points within the facility. This includes appropriate sanitary waste collection of activity waste at the sinks within the facility.

External Waste and recycling collection will be by commercial waste collection services.

A dedicated and secure waste bin storage area would be located onsite for bins associated with the collection of waste and garbage, which would be arranged with a commercial waste and recycling operator.

## 5.12 Effluent Disposal

The proposed motel would be provided with a sewer connection to the Council's reticulated sewer network. Refer **Section 5.4**.

### 5.13 Stormwater

The proposed motel facility would integrate with stormwater management measures for the broader area. A rainwater tank is proposed to be located on site for rooftop stormwater retention.

Surface stormwater would be managed on site via detention in the car park area and control discharged via the adjacent land to the south (Lot 1 DP718479 - also in the ownership of the applicant) for onward connection to the Council's stormwater management network. There is sufficient room in the development site to manage the extent of stormwater expected to be generated.

Stormwater management would be consistent with Blayney Shire Council's applicable engineering guidelines.

Refer Section 4.2.1.6 for additional information.

### 5.14 Energy

The development would be designed and installed to achieve energy efficiency standards as required.

### 5.15 Noise & Vibration

Noise and vibration impacts associated with the proposed development would be limited to noise associated with construction.

Noise impacts are considered consistent with other motel developments, the former use of the site as a bowling club, and the central location of the site in the locality of Blayney. Noise levels would be generally low and manageable. Boundary fencing, landscaping and the operation of the management plan will assist to ameliorate any residual impacts of noise. Use of the site as a motel is not anticipated to result in any unreasonable noise related impacts. Modelling of potential noise impacts has confirmed that compliance with adopted noise criteria can be achieved – refer **Appendix K**.

Plant and equipment would be installed to provide adequate separation to boundaries to ensure compliance with applicable standards of the *Noise Policy for Industry 2017*.

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Vehicle movements to and from the site have the potential to have some minor impacts to the locality, however this is largely mitigated by the use of the existing access driveway associated with the former bowling club use and the broadly consistent level of movements associated with the proposed motel and the former bowling club use.

As outlined in the traffic study (**Appendix H**), Church Street is a busy road carrying consistent volumes of traffic. The proposed motel would not result in a doubling of traffic volumes and is therefore unlikely to lead to any demonstrable increase in road noise levels in the general locality.

Mitigation measures listed below would ensure that the surrounding locality is not unreasonably impacted during the construction period:

- All vehicles and equipment would be operated and maintained in accordance with the manufacturer's specifications.
- Construction would be restricted to standard operating hours between 7am to 6pm on weekdays and from 8am to 1pm on Saturday. No work would be undertaken on Sundays or on public holidays.

Noise levels during operation are expected to be consistent with the former use of the site as a bowling club and would be generally low and manageable. Boundary fencing, landscaping and the operation of the management plan will assist to ameliorate any residual noise related impacts (refer to the response to public submissions provided in **Appendix K**).

## 5.16 Natural Hazards

The site is not impacted by any known natural hazards. The site is not mapped as bushfire or flood prone and does not contain any acid sulfate soils

## 5.17 Technological Hazards

No technological hazards are known to affect the site.

The redevelopment of the former bowling club building would be designed and constructed to ensure compliance with the BCA.

# 5.18 Safety, Security And Crime Prevention

The guidelines prepared by the NSW Department of Urban Affairs and Planning (DUAP, 2001) identify four (4) Crime Prevention Through Environmental Design (CPTED) principles to be considered in a Development Application to ensure developments do not create or exacerbate crime risk. These four principles are surveillance, access control, territorial reinforcement, and space management.

Subject to the recommendations of that assessment, the development may proceed with caution.

Physical barriers, such as surrounding buildings, prevent access to the site. The site would be maintained in order to minimise potential for criminal activities. The application has been referred to the NSW Police for comment. In response to the comments received, the following measures would be incorporated into the development:

- (a) A manager would look after the site, and they or their representative would be present on site between the hours of 7am and 10pm. Outside of these hours, a security arrangement would be reached with a suitable firm to conduct regular patrols and be available to respond to complaints or incidents
- (b) The sale of alcohol is not proposed via this DA.

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- (c) In terms of the specific recommendations, the following is noted:
  - (i) Lighting
    - 1. Lighting is proposed at the site in common areas in compliance AS4282-1997.
    - 2. Sensor lighting can be supplied as required and the standard noted.
  - (ii) Surveillance
    - 1. CCTV would be installed.
    - 2. Security would be provided including patrols and back to base alarm system.
  - (iii) Signage
    - 1. **Drawing A05** provides signage details and **Drawing A07** provides traffic flow diagram demonstrating that all design vehicles can manoeuvre around the site
    - 2. An internal speed limit of 10km/hr would apply, and signage would be installed to this effect
    - 3. Trespass signage would be installed
    - 4. It is confirmed that the facility would feature CC-TV and 24 hour security
    - 5. Unit numbering would be provided including internal signage directing guests to rooms
  - (iv) Environmental constraints
    - An ongoing landscaping plan would be provided which would confirm, among other things, ongoing maintenance of internal landscaping to ensure heights would not exceed 900mm. As the external landscaping is proposed to provide a shielding affect and is to be located directly adjacent to 1800mm high boundary fencing, these would not be limited to 900mm in height.
    - 2. Cleared areas either side of paths would be maintained to ensure opportunities for concealment are removed
    - There is no objection to a requirement for provision of a maintenance plan as a condition of consent.
  - (v) Access control
    - An electronic communication system is not proposed, given the preponderance of portable telecommunications.
    - Appropriate security locks will be fitted to all doors to ensure an appropriate level of protection and security
    - 3. Windows will be appropriately secured to ensure the security of occupants.
    - 4. Windows will be appropriately secured to ensure the security of occupants.
    - 5. Individual rooms open to the outside; all doors will be fitted by appropriate locks.
    - 6. The car parking area will include speed bumps
    - 7. Cash will not be kept on the premises, and signage will be installed to this effect.

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## 5.19 Social Impact

### 5.19.1 INTRODUCTION

As defined by the NSW Government Office on Social Policy, social impacts are significant events experienced by people as changes in one or more of the following are experienced:

- peoples' way of life (how they live, work or play and interact with one another on a day-to-day basis);
- their culture (shared beliefs, customs and values); or
- their community (its cohesion, stability, character, services and facilities).

Social impacts can be either or both:

- Positive or negative;
- Tangible or intangible;
- Direct, indirect or cumulative;
- Quantifiable or qualitative.

Depending on the perspective of the person or group that is impacted, impacts can be experienced very differently. For example, the owner of a local business may see improved trade and increased patronage as a result of a development change, whereas a direct neighbour to the development may experience increased noise or dust impacts. These different perspectives both represent a social impact, one welcome and positive, and the other unwelcome and negative. The capacity and ability to mitigate negative impacts is a factor together with the high level consideration of the benefit conferred by the project, both at a micro and macro level.

### 5.19.2 UNDERSTANDING AND IDENTIFYING POTENTIAL SOCIAL IMPACTS

There are a range of methods by which potential social impacts can be identified and understood. These are discussed in the relation to the project in **Table 7**.

Methods	Site Specific Response
The scale and nature of the proposed project, its associated activities (including ancillary infrastructure), potential direct impacts, potential indirect impacts that may extend from the project site (for example,	The site is formerly the Blayney Bowling Club. It was a licenced premises, providing bar and restaurant facilities, together with external sporting facilities. It is understood that the scale of the operation was modest, however it would nevertheless have contributed to the character of the locality through noise generation from patrons and plant and equipment, traffic movements and noise, and impacts to the local servicing network among others.
transport and logistics corridors, downstream water users) and potential cumulative impacts	The proposed use as a motel is considered a low impact use. Like any motel, issues may arise with the behaviour of guests, not markedly different to the former use of the site as a licenced bowling club. This is manageable through site management measures, including clearly communicating to guests (through policies and signage) the expectations of management and the implications for breaching site policies. The site would be managed in accordance with the provisions of the draft Plan of Management (PoM), noting that this has been the subject of consultation through the original assessment of DA 2021/0004 and the subsequent preparation of detailed design.

#### Table 7 – Identifying social impacts

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Methods	Site Specific Response		
	The PoM also incorporates the elements approved by 2022/0006 (stage 3) and 2022/0099 (stage 4). The updated draft PoM is provided at <b>Appendix J</b> .		
Who may be affected by the project, how they are expected to be affected, and their relevant interests, values and aspirations	The values and expectations of surrounding residential land uses can reasonably be expected to be consist of a desire for the quiet enjoyment of their land. They are likely to have generally consistent values. Commercial land uses in the surrounding area are expected to be primarily concerned with the successful and efficient operation of their businesses. Direct operational impacts that limit their capacity to function are one side of the equation, with flow on benefits from complementary land uses being the flip side. Residents of surrounding residential properties may be impacted, together with occupants of commercial properties. Impacts are largely expected to be associated with potential noise and traffic		
	movements. In all reality, impacts are likely to be limited and short lived. Management expectations would be communicated to guests and enforced by site staff.		
Any potentially affected built or natural features located on or near the project site or in the surrounding region that have been identified as having social value or importance, including key social infrastructure, facilities and amenities	No key social infrastructure, facilities and amenities expected to be detrimentally impacted by the proposed use.		
Any relevant social trends or social change processes being experienced by communities near the project site and within the surrounding region, for example, trends in availability of rented accommodation, changes to relative employment in different industries, changing land uses over time, population and demographic changes	With the increase in construction projects in the locality, high levels of pressure currently exists on the supply of short term accommodation. This development will assist to alleviate that pressure and provide for growth in the local economy and employment.		
The history of the proposed project and how communities near the project site and within the surrounding region have experienced the project and others like it to date.	A range of accommodation land uses exist within the Blayney township. These are under pressure with the increase in large scale construction projects in the sub-region. There are noted to be three other motels in the town of Blayney, and the proposed motel will operate in a similar manner to these. It is expected that many of these are currently accommodating a proportion of construction workers, and therefore the proposed development will be no difference in this regard. In the long term, the motel will continue to operate as a conventional motel.		

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### 5.19.3 CENSUS DATA

In understanding the current social environment within the Blayney Local Government Area (LGA), it is important to consider the local area demographics.

Demographic data for the two most recent census periods, including the rates of change, are depicted in **Table 8**.

	2011	2016	2021	Rate of change/yr
Recorded Population	2,810	2,963	2,997	0.6%
Recorded visitors on census night	99	131	109	1%
Male/Female	48.7%/51.3%	49.3%/50.7%	48.4%/51.6%	-
Families	725	755	811	1.2%
Employment by sector: Primary employment sector	Health care and social assistance (12% of workforce)	Health care and social assistance (13% of workforce)	Health care and social assistance (20% of workforce) Education and	-
Second highest employment sector	Retail trade (11% of workforce)	Retail trade (12% of the workforce)	training (11%)	
Occupied dwellings	1,066	1,106	1,185	1.1%
Total dwellings	1,181	1,219	1,344	1.4%
Median weekly household income	\$990	\$1,017	\$1,309	3.2%

#### Table 8 - 2011 & 2016 Census data

Source: ABS, 2011 - 2021 (Blayney urban centres and localities statistical area)

By reference to the above, at the time of the 2021 Australian census, the Blayney urban centre and locality experienced a 1% increase in population from the 2011 levels, up from 2,810 in 2011 to 2,997 in 2021. Health care remains the dominant industry of employment for all three census periods, with the retail sector being the secondary industry in 2011 and 2016, switching to education and training as the secondary industry in 2021.

During the same period, the mining sector experienced a reduction from 10% of the employment sector to 7%.

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The number of dwellings within the town has risen by 1.1%, with the number of occupied dwellings rising by 1.4%. Median weekly household incomes has also increased by 3.2%/year, from \$990 in 2011 to \$1,309 in 2021.

The proposal development would result in the provision of a further 102 motel rooms. This represents 3.4% of the 2021 population (at full capacity). Given that occupants would be transient in nature and not permanent residents, no change to the social values of the town are expected to occur. Short term beneficial impacts in terms of flow on impacts to the community are predicted.

#### 5.19.4 LOCAL EMPLOYMENT

The proposal provides for short term employment support during the construction phase, and ongoing employment in the context of management and cleaning roles. It is expected that the ongoing use of the site would generate 4-6 full time roles.

#### 5.19.5 SOCIAL INFRASTRUCTURE CAPACITY

It is pertinent to understand the capacity of services, facilities and community services to meet the projected increase in population associated with the project.

Provision of additional motel rooms enhances the quality, amount and range of accommodation available to visitors to Blayney and thus supports tourism which is a key industry for the region.

The types of social infrastructure likely to be utilised by visitors/motel occupants include:

- Health infrastructure (dr's, hospitals, dentist, nurse etc)
- Supermarket
- Courthouse/Magistrates Court
- Police
- Hospital
- Cinema
- Pharmacy
- Restaurant/café's
- Hotels/motels
- Swimming pools and other recreational facilities

- Laundromat
- Post Office
- Open Space general
- Open Space active
- Open Space Passive
- Gym
- Museum/Art Gallery
- Landfill
- Main Road
- Water
- Waste Water

By reference to the above infrastructure, impacts related to the project could be either positive or negative on the services provided within the town. Examples of positive impacts might be increased patronage to local businesses (such as the supermarket, cafés, gym, post office etc), and examples of negative impacts may be a potentially increased burden on services such as police, ambulance and health care services.

Given that the work force consists of people living for short term periods, it is considered that key impacts to local services, such as health and the like, would primarily be due to emergency situations, rather than a need for scheduled services.

Positive impacts could be support for business, particularly those that may have struggled during the recent pandemic close down, enabling them to grow and expand, thus contributing to the local economy. The provision of expanded capacity provides the opportunity for economic growth.

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#### 5.19.6 ECONOMIC GROWTH

Due to the proximity of the motel to the CBD, local businesses would be expected to receive increase patronage. Whilst there are some negative impacts to this, such as pressure on services, overall, if managed properly, the development would have a positive impact to the town and local proprietors. The injection of customers provides the opportunity for business growth, thereby providing higher quality services to the town in the longer term.

As evidenced by the cost benefit analysis provided at **Appendix I**, the proposed motel would provide a benefit cost ratio of 1.69, meaning that for every \$1 spent, the project will contribute \$1.69 to the local economy. Over a nominated 20 year life of the project, the development has the potential to provide a Net Present Value of \$10,123,204.00.

#### 5.19.7 TRANSPORT

This discussed in detail in the traffic study attached to the SEE (refer to **Appendix H**). It concludes that the development can be accommodated within the local traffic environment without detrimental impacts.

#### 5.19.8 FACILITY MANAGEMENT

It is proposed to establish internal policies, including a Facility Plan of Management (refer draft at **Appendix J**), to inform all occupants in relation to reasonable expectations for behaviour so as to minimise undesirable social impacts. A formalised complaint system for external complaints is also proposed via this application, discussed later in this response and outlined in the PoM. The PoM has been the subject of engagement with Council and NSW Police as a result of the assessment of DA 2021/0004 and through engagement throughout the detailed design and construction phase. The draft document is comprehensive and provides Council and the community with a clear understanding of how the site is to be managed. The Draft PoM incorporates the details of the approved elements of stage 3, the Osman Street motel rooms (DA 2022/0006) and stage 4, the development of the former bowling club building as a facility restaurant and other ancillary purposes (DA 2022/0099).

Facilities would be provided on site for disabled access.

A first aid station is proposed for first response.

#### 5.19.9 LOCATION

A potential impact to the locality associated with the motel are changes to the prevailing local amenity in relation to the area around the subject site.

Given the former use of the site as a bowling club, the use of the site as a motel is considered sufficiently consistent such that it is unlikely to give rise to a significant change in amenity. Impacts are manageable as outlined throughout this report and through the implementation of the PoM.

#### 5.19.10 COMMUNITY MITIGATION MEASURES/INVOLVEMENT/FEEDBACK

The applicant is committed to managing and operating the motel in a manner that is acceptable to the community, including being responsive to community comments and complaints.

Within two months of receipt of approval for the motel, the applicant commits to developing and implementing an online submission page to receive any enquiries, suggestions, or complaints from members of the public in relation to activities associated with the site.

The applicant commits to:

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- Acknowledging submissions within 3 days of receipt
- Investigating the details raised via the submission to determine an appropriate response within 5 days
  of receipt (or such longer period as agreed with the submitter);
- Developing a response to the submission providing a proposed means of resolving the matter for discussion with the submitter within 10 days, including a target timeframe for implementation (or such longer period as agreed with the submitter);
- Implementation of the resolution;
- Feedback to the submitter as to the success of the resolution method including any additional matters that may need to be carried out; and
- A bi-annual report to Council setting out the details of any submissions received, the response developed, the outcome of consultation with the submitter and the outcome of the proposed resolution.

The applicant has no objection to a condition of consent to this effect.

#### 5.19.11 CUMULATIVE IMPACTS

There are three other motels in Blayney at present, and a much larger number of rooms in Orange (30 minutes to the north west).

Providing expanded opportunities and competition in the market is a reasonable outcome of the project. In determining development applications, competition has been rejected by the courts on many occasions as a material consideration. It is not a material consideration under Section 4.15 of the EP&A Act.

There are no other land uses in close proximity to the development that are considered to have the potential to operate in a manner that could lead to a cumulative social impact.

#### 5.19.12 CONCLUSION

Based on the matters discussed in the preceding section, it is considered that the development is unlikely to lead to unreasonable social impacts to the community. In this regard, the following points are noted:

- A motel is a permissible use in the zone and the proposed development is appropriately characterised as a motel.
- The site formerly hosted the Blayney Bowling Club, a licensed facility that is expected to have operated until late in the evening.
- The assessment at Section 5 of this report demonstrates that the proposal would not lead to any
  unreasonable or unmanageable environmental impacts that would cause substantial change or
  disruption to the community. All impacts are minor and/or manageable.
- The site provides accommodation for visitors and tourists to the region, including construction workers employed on a range of projects. In this manner, it would not be any different to other accommodation providers in the town and region.
- The facility would be operated in line with a site facility Plan of Management, which would ensure that the health, safety, privacy and welfare of all occupants and surrounding residents is respected.
- As discussed above, impacts to local community resources would be minor and generally positive, through increased patronage at local stores and businesses, and positive flow on effects as a result of this. Improved trade leads to improved local employment opportunities and an improved local economy. Any impacts in this regard are therefore anticipated to be positive.

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On balance, the social impacts associated with the proposal are considered positive, and those minor residual negative impacts, are manageable.

## 5.20 Economic Impact

The proposed development is not anticipated to generate adverse economic impacts. As outlined in the preceding section, the proposal is considered likely to lead to positive economic impacts.

To further assess likely economic impacts of the proposal, Rovest engaged Western Region Institute (WRI) to prepare a cost benefit analysis. This report is provided at **Appendix I**.

The conclusions of this analysis are that the project will provide for a 15% increase in jobs in the visitor economy and will provide a benefit cost ratio of 1.69, meaning that for every \$1 spent, the project will contribute \$1.69 to the local economy. Over a nominated 20 year life of the project, the development has the potential to provide a Net Present Value of \$10,123,204.00.

On balance this represents a positive economic impact to the community.

## 5.21 Site Design And Internal Design

The proposed development has been carefully considered to provide an arrangement with a low likelihood of resulting in detrimental impacts to nearby residents.

The former bowling club building has been approved for use for restaurant and other ancillary purposes and the motel rooms have been positioned and designed to limit impacts to residential land uses.

The staging of the development provides a legacy development that is compliant with Council requirements.

The proposed use is unlikely to have any detrimental impacts on the environment and is sensitive to the surrounding locality and land uses.

## 5.22 Construction Impacts

Construction relating to the development will be minimal and the duration of construction will be short term. It not anticipated that the construction activities will have any detrimental impacts on nearby and adjacent land owners.

Construction impacts would be managed through the application and maintenance of appropriate mitigation measures, including:

- All vehicles and equipment would be operated and maintained in accordance with the manufacturer's specifications.
- Construction would be restricted to standard operating hours between 7am to 6pm on weekdays and from 8am to 1pm on Saturday. No work would be undertaken on Sundays or on public holidays.
- Where necessary, erosion and sediment controls will be installed in accordance with the NSW Governments Managing urban stormwater: soils and construction, Volume 1, commonly referred to as "The Blue Book".
- Maximising recycling and minimising waste going to landfills by separating waste materials during the demolition phase, not after.
- All material generated from the work will be recycled or reused where possible.

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## 5.23 Cumulative Impacts

The proposed development is unlikely to generate any impacts with the potential to act in unison in terms of:

- Individual impacts so close in time that the effects of one are not dissipated before the next (time crowded effects);
- Individual impacts so close in space that the effects overlap (space crowded effects);
- · Repetitive, often minor impacts eroding environmental conditions (nibbling effects); and
- Different types of disturbances interacting to produce an effect which is greater or different than the sum of the separate effects (synergistic effects).

## 6. CONCLUSION

### 6.1 Suitability of the Site

The subject site is considered suitable for the proposed development for the following reasons:

- The proposed development is not inconsistent with the aims of the E1 Local Centre zone.
- The proposed building as motel accommodation is compatible with the nature of development in the locality.
- The proposed construction of the facility would be conducted according to the mitigation measures set down at **Section 5.22** and therefore the construction impacts of the development would be minimal.

## 6.2 Public Interest

The matter is likely to be of public interest due to the central location of the project site.

The development will provide positive flow on benefits to the local community as detailed in **Section 5.21** and has the added benefit of bringing the land back into active use.

## 6.3 Conclusion

The proposed development involves the development of motel accommodation.

The development proposed is permissible with consent within the B2 zone pursuant to the *Blayney Local Environmental Plan 2012*. The proposed development achieves the controls set by the Blayney Development Control Plan 2018.

The development would not have any adverse environmental, social or economic impacts on the locality. The development would support the local economy. In this regard, the subject site is considered to be suitable for the proposed development.

## 7. REFERENCES

Table 9 – References

#### References

Department of Urban Affairs and Planning (DUAP). nd, Guide to Section 79C, NSW Department of Urban Affairs and Planning, Sydney.

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#### References

Department of Urban Affairs and Planning (DUAP). 2001, Crime Prevention and the Assessment of Development Applications: Guidelines under section 79C of the Environmental Planning and Assessment Act 1979, DUAP, Sydney.

NSW EPA, n.d. List of NSW contaminated sites notified to EPA. [ONLINE] Available at: http://www.epa.nsw.gov.au/clm/publiclist.htm [Accessed September 2020]

NSW EPA, n.d. Contaminated Land Record of Notices. [ONLINE] Available at: http://www.epa.nsw.gov.au/prcImapp/searchregister.aspx [Accessed September 2020]

NSW Office of Environment and Heritage (OEH), n.d. Aboriginal Heritage Information Management System (AHIMS) [ONLINE]. Available at: http://www.environment.nsw.gov.au/awssapp/login.aspx [Accessed September 2020].

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# APPENDIX A PREMISE PROJECT DRAWINGS

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# **APPENDIX B** DEVELOPMENT CONTROL PLAN ASSESSMENT



Section	Controls	Assessment	Compliance?
Part D - Commercial, Co	mmunity & Industrial Development		
D2.2 General Building Setbacks	<ul> <li>1) Road Frontages: Setbacks to road frontages (other than rear lanes) should:</li> <li>a) Reinforce the desired built form pattern, street character and function and not dominate the street whilst allowing variability where it can be justified;</li> <li>b) Respond to the level of pedestrian activity required for any proposed retail frontage(s);</li> <li>c) Respond to adjacent development and adjacent building setbacks;</li> <li>d) Minimise impacts on adjacent lots;</li> <li>e) Provide areas to service these uses whilst minimising the impact of large parking, utility, or storage areas on street character/activity;</li> <li>f) Accommodate (where appropriate) outdoor dining areas, disabled access and landscaped setbacks; and</li> <li>g) Provide adequate sight distances for vehicle and pedestrian safety, particularly on corner lots</li> </ul>	The site has frontages to Osman and Church Streets. The primary access is from Church St, consistent with the historic access arrangements. The proposed motel would be well setback from Osman St and visually shielded by fencing and landscaping. No significant change to the existing vehicle access point is proposed. Good sight lines exist.	Yes
	2) Rear Lanes	N/A	N/A
	3) Side & Rear Setbacks:	Setback requirements are achieved.	N/A
D2.6 Building Height & Bulk	<ul> <li>The applicant must demonstrate how the proposed building height and bulk will;</li> <li>1) Minimise visual impacts of larger buildings;</li> <li>2) Integrate with the existing/desired scale and street character for the relevant land use zone and location with consistent street frontage heights (including</li> </ul>	Proposed motel units are low profile, single storey. A heritage report has been provided at <b>Appendix C</b> demonstrating the consistency with the heritage character of the area. No overshadowing would occur, and units would not dominate the locality.	Yes

#### Table 10 – Blayney Development Control Plan 2018



Section	Controls	Assessment	Compliance?
	<ul> <li>parapets/roof lines);</li> <li>3) Be sympathetic to heritage buildings and conservation areas (where applicable);</li> <li>4) Be sympathetic to and, if necessary, provide a transition in height to adjacent buildings;</li> <li>5) Minimise overshadowing of the living spaces and private open spaces of adjacent dwellings and any community facilities (e.g. school yards, churches etc.).</li> <li>6) Use building height and massing to reinforce key corner sites and 'gateways' to the town;</li> <li>7) Maintain the dominant building façade/heights to main streets and setback additional height behind this street frontage height.</li> </ul>		
D2.7 Building Design	<ol> <li>1) Variation</li> <li>2) Blank Walls</li> <li>3) Activation/Safety</li> <li>4) Security Grilles</li> <li>5) Safety by Design</li> <li>6) Servicing Areas</li> <li>7) Corner Sites</li> <li>8) Utilities</li> </ol>	<ol> <li>Modules feature variation and will be further articulated through the use of material choices, on site landscaping and colour.</li> <li>No blank walls to boundaries</li> <li>The site is positioned well back from the street behind other lots. The proposed subdivision to create a residue lot in the west of the site provides for the opportunity to activate the Osman St frontage via a future application</li> <li>No security grilles proposed</li> <li>Refer Section 5.18</li> <li>Car parking is well setback from the street</li> <li>Not a corner site</li> <li>Utilities would be positioned away from core areas</li> </ol>	Yes
D4 Access & Parking D4.2 Vehicle Access	O1. To ensure all lots have appropriate and safe provision for access to and egress from a site. O2. To ensure that development is provided with appropriate	This is addressed in detail in <b>Section 5.2</b> and <b>Appendix</b> H	Yes



Section	Controls	Assessment	Compliance?
Section	<ul> <li>access, circulation, loading and unloading areas and vehicle parking areas that are safe and efficient and integrated with the site and building design.</li> <li>O3. The applicant must demonstrate that any proposed site vehicle access location and design has considered public safety including, but not limited to:</li> <li>a) The type of road the access will front onto and its design;</li> <li>b) Sight distances and vehicle speeds;</li> <li>c) Proximity to intersections or pedestrian crossings;</li> <li>d) Existing and proposed landscaping design;</li> </ul>	Assessment	Compliances
D4.3 Circulation & Loading/Unloading	<ul> <li>e) Potential conflicts with other vehicles and pedestrians/ bicycles on and off-site.</li> <li>O1. To ensure that all traffic generating developments are designed in accordance with Council's Guidelines for Engineering Works.</li> <li>O2. To provide parking areas which promote ease of access as well as safe and effective internal circulation patterns.</li> </ul>	There is sufficient room on site to accommodate the turning paths of the largest vehicle expected to access the site (8.8 m rubbish collection vehicle) – refer <b>Appendix A, Premise Drawing A012</b>	Yes
D4.4 Parking	O1. To provide adequate off-street parking consistent with the parking demand generated by the development so that there is not an unreasonable reliance on on-street parking or impacts on other users.	This is addressed in detail in Section 5.2	Yes (in final arrangement)
D4.5 Pedestrian Access and Mobility	O1. To improve equity of access for the entire community. O2. New buildings, substantial alterations and additions, parking and access must comply with the Disability (Access to Premises — Buildings) Standards 2010 (as amended or replaced) under the Disability Discrimination Act 1992 and the National Construction Code and Australian Standards.	The site has been selected in part due to its flat grade. Accessible buildings would be provided.	Yes
D4.6 Parking and Safety	1) Parking Navigation	1) The arrangement of the car park area is logical and capable of interpretation by users. Signage would be	Yes



Section	Controls	Assessment	Compliance?
	2) Pedestrian Connections	provided to assist users.	
	<ul><li>3) Safety Principles</li><li>4) Lighting</li></ul>	2) A pedestrian access path would be provided from Church St together with clearly marked pedestrian areas within the site	
		3) Refer Section 5.18	
		4) Lighting would be installed to ensure a safe environment for site users. Lighting would comply with AS 4282-1997 Control of the obtrusive effects of outdoor lighting.	
D4.7 Off Street Car Parking	O1. To ensure there is adequate off-street parking to meet the needs and size of the development.	Refer Section 5.3 and Appendix H	Yes
D5.1 Open Storage, Utility & Service Areas	To ensure that goods and waste storage areas: O1. Are appropriately located, designed and screened (with fencing and/or landscaping) to minimise the visual impact and clutter of these areas from key public areas and streets. O2. Limit environment impacts and impacts on the amenity of neighbouring sites.	A waste storage area is proposed adjacent to the existing bowling club building in the car parking area – refer <b>Appendix A, Premise Drawing A012</b> . This would be accessible by a waste collection vehicle – swept paths are provided in <b>Appendix A, Premise Drawing A012</b> .	Yes
D5.2 Solid Waste Management	<ul> <li>O1. Goods &amp; waste storage areas are appropriately located, designed and screened (with fencing and/or landscaping) to minimise the visual impact of these areas from key public areas and streets.</li> <li>O2. There is sufficient waste storage for the required types and volumes of solid waste.</li> <li>O3. There is sufficient access and/or circulation space to waste storage areas for collection by waste vehicles.</li> </ul>	As above. These areas would not be visible from the public domain	Yes
D5.3 Landscaping	O1. Use of appropriate landscaping to provide a pleasant environment that complements the design of the buildings and provides buffers to neighbouring lots and the public domain.	A detailed landscaping plan for the site has previously been accepted. This is provided in <b>Appendix G</b>	Yes





Section	Controls	Assessment	Compliance?
	O2. Landscaping should be provided in setback areas where it is necessary to: a) Retain existing significant trees; a) Screen the visual bulk of larger buildings; b) Soften the visual impact of large hardstand / car parking areas; c) Provide shaded open space for staff; d) Provide shade and amenity for parked cars, buildings, and open spaces; and e) Provide deep soil zones for water infiltration and stormwater management		
D5.4 Fencing	<ul> <li>O1. Fencing must be designed and maintained:</li> <li>a) To meet the security needs of a development and its staff and customers;</li> <li>a) To maximise interaction (avoid barriers during operational hours) and promote casual surveillance between the development and key public spaces /the street;</li> <li>b) To minimise visual impact of fences on street character and heritage items or conservation areas.</li> </ul>	Existing boundary fencing would be maintained and improved as required to ensure the security of the site is maintained. Fencing along the western extent of the motel units would be installed as timber, lapped and capped style fencing.	Yes
D5.6 External Lighting	O1. To facilitate safety and security for each development. O2. To minimise impact on adjoining properties from light-spill or inappropriate lighting.	Lighting would be installed to ensure a safe environment for site users. Lighting would comply with AS 4282-1997 Control of the obtrusive effects of outdoor lighting which would ensure that offsite light spill is minimised to a reasonable level. In this regard, it is noted that the historic use of the site included on site lighting for the former bowling greens, and this is consistent with the level of lighting proposed.	Yes
		There is no change to the access/egress point of the site and as such the impacts of exiting vehicles during the night time period is considered to be consistent with the historic and ongoing use of the site. The exit point is additionally located directly opposite to Adelaide Lane and as such the direct pathway of vehicle lights is not into any residential building. The closest building likely	



Section	Controls	Assessment	Compliance?
		to be affected is a public hall, which is not inhabited.	
D6 Site Planning, Earthworks & Utilities D6.1 Site Planning	<ul> <li>1) To ensure that the design of any significant new development is based on a site analysis of any relevant opportunities and constraints of the site and (taking into account any other relevant controls in BLEP2012 and this DCP):</li> <li>a) Considers and responds to the topography, climate and natural environment;</li> <li>b) Avoids, or if it cannot avoid, minimises or mitigates against natural hazards and land use conflicts;</li> <li>c) Protects and enhances any heritage items or heritage conservation areas;</li> <li>d) Integrates with the surrounding built form and landscape/streetscape character; and</li> <li>e) Maintains reasonable residential amenity (for the site and adjacent dwellings)</li> </ul>	Site survey has been completed and a careful analysis of site features has been completed, Refer <b>Premise</b> <b>Drawing A002</b>	Yes
D6.2 Earthworks	<ol> <li>Site Planning: To minimise cut and/or fill and potential erosion and sediment entering stormwater systems or watercourses by appropriate site planning, building orientation and design, taking into account the slope of the site, proximity to watercourses, and access and drainage requirements;</li> <li>Impacts: To ensure that earthworks (for which development consent is required) will not have a detrimental impact on environmental functions and processes, neighbouring uses, cultural or heritage items, or features of the surrounding land.</li> <li>Contamination: To ensure that fill that is brought onto or leaves any site is uncontaminated and will not increase the risk or spread of contamination. Council may require a Soil Analysis Report and/or Contamination Review / Site History to ensure that only clean fill or virgin excavated natural material (VENM) is utilised on site or taken</li> </ol>	tourses by esign, taking courses, andThe site is generally flat and suitable for the placement of the proposed modular buildings. No more than minimum fill is expected to be required.elopment ct on g uses, cultural l.Any excess cut would be disposed of off-site at an appropriately approved waste management facility. 2) Due to the minor nature of required earthworks, detrimental impacts are not anticipated 3) Refer Section 4.2.4onto or leaves risk or spread Report and/or nly clean fill orAny excess cut would be disposed of off-site at an appropriately approved waste management facility. 2) Due to the minor nature of required earthworks, detrimental impacts are not anticipated 3) Refer Section 4.2.4	



Section	Controls	Assessment	Compliance?
	to another site. Note: If the site is within a flood prone area then there may be additional earthworks controls in Part G – Environmental Management & Hazards.		
D6.3 Building near Utilities	O1. All buildings and structures must be located and designed so they do not obstruct access to, or impact on the safe operation of, existing or proposed utilities such as sewer, stormwater, water, electricity, gas, and telecommunications (whether they are above ground or under-ground).	This is achieved by reference to the site survey	Yes
D6.4 Connection to Utilities	<ol> <li>Address the requirements of Clause 6.8 - Essential Services in BLEP2012.</li> <li>All utilities must be installed and/or connected in accordance with Council's Guidelines for Engineering Works or the requirements of the relevant utility provider.</li> <li>Where reticulated services are available, any new buildings must connect to those reticulated services unless the applicant can demonstrate why that connection would not be appropriate and/or propose an alternative system that is acceptable to Council.</li> </ol>	<ol> <li>Refer Section 4.2.1.7</li> <li>This is able to be achieved.</li> <li>This would be achieved.</li> </ol>	Yes
D6.5 Siting & Visibility of Utilities	O1. The applicant must try to minimise the visual impact of any new utilities, connections, or associated structures if visible from public areas.	This is able to be achieved	Yes
D6.8 Water & Energy Efficiency	O1. To minimise water and energy use and maintain thermal efficiency through site planning, building design and integration with utilities and services	Investigation of the use of solar panels and grey water re-use is proposed.	Yes
Part E – Other Land Uses			
E.2 Advertising and Signage E.2.5 General Controls for Advertising and Signage	<ol> <li>A single business premises is permitted to have a maximum number of signs on each street frontage of the building (in accordance with the controls below) as follows:</li> <li>a ) One under awning sign;</li> </ol>	Not Proposed	N/A



Section	Controls	Assessment	Compliance?
– Commercial and Retail	<ul> <li>b) One top hamper sign or flush wall sign;</li> <li>c) One fascia or awning fascia sign;</li> <li>d) One A-Frame sign on the footpath;</li> <li>2) Window signage maybe provided in addition to the list above as long as it does not take up a significant area of the street window or significantly reduce visibility between the inside of the shop and the street.</li> <li>3) Each tenancy in a multiple tenancy on the same lot may have the same signage as set out in subclause (1) above as well as a single directory board /pylon sign naming the facility and listing some or all of the tenancies at or near the primary customer entrance.</li> </ul>		
E.2.6 Types of Signage E.2.6.1 Under Awning Sign	<ul> <li>Under Awning sign(s) must:</li> <li>1) Not exceed one (1) sign per property street frontage.</li> <li>2) Be attached to the building in which the business identified in the sign is located.</li> <li>3) Not be more than 1.5m<sup>2</sup> in area and not more than 2.5m<sup>2</sup> in length.</li> <li>4) Be erected with the lower edge at least 2.6m above ground level (existing).</li> <li>5) Not extend beyond the edge of the awning.</li> </ul>	Not proposed	N/A
E.2.6.2 Above Awning Sign	<ul> <li>Above Awning Sign(s) must:</li> <li>1) Be of a size that is consistent with the bulk and scale of the building and character of the streetscape.</li> <li>2) Be located at first floor level where the building is more than one level.</li> <li>3) Where shop top housing is located, not include above awning illuminated signage.</li> </ul>	Not proposed	N/A
E.2.6.3 Temporary	Temporary content signs (external to building):	Not proposed	N/A



Section	Controls	Assessment	Compliance?
Content Sign or A-Frame Sign	1) May be a flush wall permanent sign e.g. Blackboards which allow for temporary content such as weekly specials and deals.		
	2) May be moveable e.g. Display specials to diners at a restaurant, but must not be located on the road reserve at any time.		
	3) Must have maximum dimensions of 900 x 620mm.		
	A-Frame sign(s) must:		
	1) Not exceed one (1) sign per commercial business;		
	<ol> <li>Only contain content that relates directly to an activity carried out on or associated with the related business premises;</li> </ol>		
	3) Be of safe and stable construction and must comply with the diagram below;		
	<ol> <li>Only be placed during the normal hours of trade of the business to which they relate.</li> </ol>		
	5) Not be illuminated;		
	<ol> <li>Only be located on footpaths with a minimum footpath width of 3.0m;</li> </ol>		
	7) Be accompanied by a Section 68 application for the display of goods on Council's footpath and a public liability insurance policy that:		
	a) Is for a sum of not less than \$20 million;		
	b) Includes a cross liability clause, in the sum of not less than \$20 million;		
	<ul> <li>c) Specifically indemnifies Council against any public liability claims;</li> </ul>		
	d) Is renewed annually; and		
	e) Is kept on the premises as proof of currency and produced on demand to any authorised Council officer.		
E.2.6.4 Fascia Sign	Fascia sign(s) must:	Not proposed	N/A



Section	Controls	Assessment	Compliance?
	<ol> <li>Not exceed one (1) sign per property;</li> <li>Not project above or below the fascia to which it is attached; and</li> <li>Be at least 600mm behind the alignment of any kerb within the adjacent road.</li> </ol>		
E.2.6.5 Pylon and Pole Sign	<ul> <li>Pole and/or pylon sign(s) must:</li> <li>1) Not exceed one (1) sign per property street frontage;</li> <li>2) Not be located within the main streets of Towns and Villages within the Blayney Local Government Area, except for Service Stations which may seek special permission from Council and Roads and Maritime Services (RMS);</li> <li>3) Have a height that is consistent with the scale of surrounding buildings and is a maximum height of 7 metres;</li> <li>4) Be designed to reflect the scale of the building to which it relates and the streetscape characteristics of the area;</li> <li>5) Be contained wholly within the site and must not overhang any public space or land;</li> <li>6) Not be illuminated.</li> </ul>	Existing pylon signs on Osman Street (refer to DA 2022/006) and Church Street would be utilised for new signage associated with the motel, as per <b>Appendix A</b> , <b>Premise Drawing A012</b> . No change to the existing height (noting this is less than 7 metres).	Yes
E.2.6.6 Top Hamper Sign	<ul> <li>Top hamper sign(s) must:</li> <li>1) Not exceed one (1) sign of this type for each ground floor tenancy; and</li> <li>2) Not extend beyond any wall/boundary and/or below top of door / window head.</li> </ul>	Not proposed	N/A
E.2.6.7 Portable Signs	Portable sign(s) must: 1) Not be displayed on the footpath of any road or in any public place unless the premises of the relevant business or person has direct ground floor frontage and direct ground floor access to that road or public place;	Not proposed	N/A





Section	Controls	Assessment	Compliance?
	<ul> <li>2) Not unreasonably hinder or obstruct the access and use of the footpath or any road or of any public place; Be removed from the road or public place each day at the close of business;</li> <li>3) If displayed on a trailer, it is not to be parked on any footpath, road related area, or road, whether attached to a vehicle or not, when the primary purpose for the placement of the trailer is for promotion or advertising.</li> </ul>		
E.2.6.8 Window Sign	<ul> <li>Window signage must:</li> <li>1) Not exceed a maximum coverage of 20% of the surface of the window in which is displayed or 6m<sup>2</sup>, whichever is the lesser;</li> <li>2) Be primarily for the purpose of business identification signage and may also include the hours of operation of the business;</li> <li>3) Not be flashing (if illuminated);</li> <li>4) If it involves a sign advertising a home business, home industry or home occupation—not exceed one (1) sign per premises.</li> </ul>	Not proposed	N/A
E.6 Restaurants, Functions Centres in Rural Zones	-	The site is not located in a rural zone. Accordingly, this section of the BDCP 2018 does not apply.	N/A
Part F – Subdivision & Ro	ads		
F5.1 Lot Size & Arrangement	O1. To encourage the development of well-designed community, commercial and industrial areas servicing the full range of business needs throughout the Shire.	The site is currently formed of nine lots. The eight lots forming 62 Osman Street would be consolidated and re- subdivided to provide a single host lot with a combined	Yes

Arrangement	commercial and industrial areas servicing the full range of business needs throughout the Shire.	forming 62 Osman Street would be consolidated and re- subdivided to provide a single host lot with a combined	
	O2. To ensure sufficient lot sizes and road frontages to support the intended land uses, access requirements, off-street parking, and circulation/servicing needs without impacting significantly on	area of approximately 11,585m <sup>2</sup> . The lots is sufficiently sized to host the proposed elements.	
	adjacent sensitive land uses.	37 Water Street would remain as a single lot.	



Section	Controls	Assessment	Compliance?
Part G - Environmental N	Aanagement & Hazards		
G2 Buffers to Sensitive Land Uses	<ol> <li>A sensitive land use is proposed within the buffer distances to an existing or likely higher impact land use or an industrial zone; or</li> <li>A higher impact land use is proposed within the buffer distances to an existing or likely future sensitive land use,</li> </ol>	Tourist and visitor accommodation is noted as a sensitive land use. No higher impact uses in the immediate locality requiring a buffer.	Yes
G3 Stormwater & Drainage	<ul> <li>a) Address the objective of Clause 6.2 Stormwater Management of BLEP2012;</li> <li>b) Will not significantly alter and/or worsen pre-development stormwater patterns and flow regimes;</li> <li>c) Will convey stormwater to receiving waters with minimal damage, danger and nuisance;</li> <li>d) Maintain the water quality of receiving waters;</li> <li>e) Stabilise landform and control erosion;</li> <li>f) Maximise the potential for water infiltration and minimise overland flows;</li> <li>g) Protect proposed or likely building areas from erosion and stormwater damage; and</li> <li>h) Consider water retention/detention and re-use (where relevant).</li> </ul>	<ul> <li>a) Refer Section 4.2.1.6</li> <li>b) The proposed arrangement provides for an improved stormwater outcome via a reduction in offsite flows</li> <li>c) This is able to be achieved as reflect in Drawing C001</li> <li>d) The proposed use does not contain any potential matters that would lead to a degradation of water quality.</li> <li>e) This is able to be achieved through adoption of standard erosion and sediment control measures</li> <li>f) This is able to be achieved. Water permeable paving is proposed adjacent to existing trees and extensive landscaping is proposed. A detailed landscape plan would be provided under separate cover.</li> <li>g) This would be achieved through adoption of standard erosion and sediment control measures.</li> <li>h) Water re-use for grey water is being considered. Stormwater would be detained on site to bring about a reduction in off-site flows as demonstrated via Drawing C001.</li> </ul>	Yes
G6 Land Contamination	<ol> <li>Enable Council to more adequately identify, record and manage known and potentially contaminated land in accordance with legislative and state policy requirements;</li> <li>Consider the historical uses of sites to understand potential risks</li> </ol>	Refer Section 4.2.1.1	Yes



Section	Controls	Assessment	Compliance?
	from potentially contaminating land uses;		
	3) Ensure development sites have a suitable soil/water quality for their intended use and that any proposed development of an identified contaminated site will not result in any unacceptable levels of risk to human health or the environment;		
	4) Remediate contaminated sites to a suitable level for their intended purpose and protection of the natural environment;		
	5) Comply with Council's Contaminated Land Policy and any relevant NSW Government guidelines;		
	6) Avoid or minimise the risk of future contamination of sites from proposed development. Where any proposed development and its operation involves significant quantities of chemical or petroleum use or storage or harmful materials or waste products (in any form) on the site, the applicant must demonstrate how the proposed development:		
	<ul> <li>a) Will manage and safely contain any chemicals, materials or wastes on the site and/or during their disposal or transport to/from the site in accordance with the relevant regulations;</li> </ul>		
	b) Is designed to minimise or mitigate the risk of contamination to land, surface and ground water, or ecological systems both during normal operations and in the event the normal systems fail;		
	c) Addresses relevant clauses in BLEP2012 including (where relevant), but not limited to:		
	i. Clause 6.4 – Groundwater vulnerability;		
	ii. Clause 6.5 – Drinking water catchments; iii. Clause 6.6 – Riparian land and watercourses.		
G9.3 Naturally occurring asbestos	1) If your land is identified on a NSW Government map as having low, medium, or high potential for naturally-occurring asbestos (NOA) then Council may require that a suitably qualified geo-	It is possible that a portion of the site may encroach into an area mapped containing medium likelihood of NOA (north-eastern section of the site) – refer <b>Section 5.8</b> .	Yes



Section	Controls	Assessment	Compliance?
	<ul> <li>technical consultant conducts a site visit and sampling to confirm whether there is (likely to be) any NOA on or near the area where development works are proposed. This must review whether the proposed development will result in any substantial earthworks or disturbance of soil or rock in the affected areas which must be shown on a Site Plan, Earthworks Plan, or a Soil and Water Management Plan.</li> <li>2) Chapter 8 of the Work Health and Safety Regulations 2017 (as amended) addresses Asbestos. If NOA is identified, and it is likely to be affected by the proposed works, then Clause 432 of that Regulation requires that a site-specific Asbestos Management Plan is prepared in accordance with the regulations and the Model Asbestos Policy for NSW Councils (2015) (as amended).</li> </ul>	Substantial earthworks are not proposed. Management measures, such as preparation of an Asbestos Management Plan, would be implemented in the event NOA is encountered during construction.	
G9.4 Erosion & Sedimentation	Council will assess the relative risk of certain developments causing erosion and sedimentation in accordance with the requirements of the 'Blue Book' (Managing Urban Stormwater: Soils and Construction) by Landcom, Fourth Edition (2004) (as amended) including, but not limited to: assessment of site constraints and opportunities; management of soils/earthworks; vegetation retention and enhancement; management of water; sediment and waste control; and site access, stabilisation and maintenance.	A soil and water management plan would be prepared prior to works commencing on site. Minimal earthworks are required due to the generally flat nature of the site.	Yes
Part H – Heritage Conse	rvation		
H1.2 Objectives of Heritage Conservation	<ol> <li>To conserve the heritage significance of the built and natural environments.</li> <li>To ensure the management of heritage is carried out in line with the Principles and Articles of the Burra Charter for the assessment of significance of heritage places and the traditions associated with them.</li> <li>To implement the objectives and controls contained within BLEP 2012 and any other relevant heritage legislation.</li> </ol>	<ol> <li>By developing a site to the rear of existing buildings with limited direction interaction with the public domain, the site is unlikely to detrimentally impact on the significance of the conservation area.</li> <li>This is achieved – refer Appendix C</li> <li>Refer Section 4.2.1.5</li> <li>This is achieved – refer Appendix C</li> </ol>	Yes

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Section	Controls	Assessment	Compliance?
	<ul> <li>4) To conserve the heritage significance of the natural and built environment and ensure new development is sympathetic to the identified heritage values.</li> <li>5) To provide planning and design guidelines for developments associated with heritage items or a heritage conservation area.</li> </ul>	5) This is achieved – refer <b>Appendix C</b>	
H2.4 Archaeological Sites (Non-Indigenous)	<ol> <li>All known and potential archaeological relics in NSW are protected under the NSW Heritage Act 1977 (as amended). When intending to disturb or excavate land where archaeological relics have been identified or are considered likely to occur, it is the responsibility of the property owner to seek relevant approvals.</li> <li>Before granting consent to any development on land on which an archaeological site is identified, Council must notify the NSW Heritage Council of its intention to grant consent and take into consideration any response from the NSW Heritage Council.</li> </ol>	Given the relative age of the bowling club development, the likelihood of encountering relics is considered low	N/A
H2.5 Aboriginal Places of Heritage Significance	<ol> <li>Consider the effect of the proposed development on the heritage significance of the place and any Aboriginal object known or reasonably likely to be located at the place; and</li> <li>Notify the local Aboriginal communities (in such a way as Council thinks appropriate) about the application and take into consideration any response received within 28 days after the notice is sent.</li> </ol>	N/A	N/A
H2.6 State Heritage Items	<ol> <li>Any works to a State Heritage item (including demolition) requires approval or exemption under the Heritage Act 1977.</li> <li>When a Development Application is lodged with Council for demolition or development of any type for a State Heritage Register listed item, the integrated development application process commences and Council will, as part of that process, refer the application to the Heritage Council for concurrence.</li> </ol>	N/A	N/A
H4 Development in the	1) The setbacks of new development from any street should	1) Buildings are well setback from nearby heritage items	Yes



Section	Controls	Assessment	Compliance?
Vicinity of Heritage Items H4.1 Siting, Scale and Proportion	<ul> <li>generally be equal to or greater than that of the heritage item and the streetscape.</li> <li>2) Development should not be of such bulk or height that it visually dominates the heritage item or streetscape.</li> <li>3) Important views to or from a heritage item should not be unreasonably obscured by new development.</li> <li>4) Where a heritage item is part of a streetscape of buildings of consistent style, form and materials, development in the vicinity of the heritage items should incorporate elements of the dominant style, form and materials in the streetscape.</li> <li>5) Development in the vicinity of a heritage item is to minimise the impact on the setting of the item by: <ul> <li>a) Providing an adequate curtilage to the heritage item to allow its interpretation.</li> <li>b) Retaining original or significant landscaping associated with the heritage item, if the landscaping is listed on the Heritage Inventory. Sheet.</li> <li>c) Protecting and allowing the interpretation of archaeological features associated with the heritage item</li> </ul> </li> </ul>	<ul> <li>and will not be visible from the public domain or from heritage buildings due to intervening fencing and landscaping</li> <li>2) Buildings are low scale and subordinate to surrounding heritage buildings</li> <li>3) No impact views are obscured.</li> <li>4) Proposed units are well shielded from view from the public domain and from heritage items</li> <li>5) Proposed motel is set to the rear of buildings with no direct visual interaction</li> </ul>	
H4.2 Materials and Colours	Materials and colours for development in the vicinity of a heritage item shall be selected to avoid stark contrast with the adjacent development where this would result in the visual importance of the heritage item being reduced.	Colour and material palette proposed is consistent with prevailing character	Yes
H5 Development within Heritage Conservation Areas H5.1 Scale and Form	<ol> <li>The scale of new development within a conservation area should relate to the scale of the adjacent or nearest heritage building and streetscape.</li> <li>Development of a larger scale is allowable only if it can be demonstrated that the new development will not adversely impact on the character and views of the conservation area.</li> </ol>	<ol> <li>Scale is proportionate and subordinate to surrounding and prevailing scale</li> <li>N/A</li> <li>Important views are not obscured</li> <li>Roof form in the locality is varied. Proposed roof form is low profile and not generally visible from the</li> </ol>	Yes



Section	Controls	Assessment	Compliance?
	<ul> <li>3) New development that obscures important views within a heritage conservation area should not be permitted.</li> <li>4) The roof forms of new development in a conservation area are to complement the original roof forms of existing nearby buildings that contribute to the conservation area and streetscape.</li> <li>5) Additions and alterations to existing buildings that contribute to the character of a conservation area should not detract from the original form of the existing building as viewed within the streetscape.</li> <li>6) The treatment of the street façade of new development in a conservation area should relate to existing nearby buildings that contribute to the conservation area</li> </ul>	<ul> <li>public domain. Effective integration is considered achievable</li> <li>5) N/A</li> <li>6) No direct street frontage. Fencing and landscaping would be proposed to provide effective integration.</li> </ul>	
H5.2 Siting	<ol> <li>The front setbacks of new development (including alterations and additions) in conservation areas should be an average of adjacent or nearby development or consistent within the streetscape.</li> <li>No new structures should be built forward of the established main street building line.</li> </ol>	1) Setbacks to Osman St exceed prevailing character 2) Achieved	Yes
H5.3 Materials and Colours	<ol> <li>Original materials of existing heritage buildings in conservation areas should not be replaced with different materials or with materials of different colours unless justified, and approved by Council.</li> <li>Non – original materials of existing heritage buildings in conservation area that are being replaced should be replaced with materials that complement the original material as closely as possible.</li> <li>Materials for new development in HCAs should not contrast with the original materials of the dominant contributory buildings in the conservation area.</li> </ol>	<ol> <li>Colours proposed would be subordinate to ensure effective integration</li> <li>N/A</li> <li>This is achieved</li> <li>This is achieved</li> <li>N/A</li> </ol>	Yes



Section	Controls	Assessment	Compliance?
	<ul> <li>4) Colour schemes for existing and new development in conservation areas should have a relationship with traditional colour schemes for the dominant style of development found in the conservation area in consultation with Council.</li> <li>5) The use of fluorescent paint and primary colours on buildings in conservation areas is not permitted.</li> </ul>		
H5.4 Doors and Windows	<ol> <li>Original door and window openings visible from the streetscape on existing heritage buildings should not be altered, unless justified.</li> <li>Original door and window joinery visible from the streetscape on existing heritage buildings should not be altered, unless justified.</li> <li>New door and window openings on existing heritage buildings that are visible from the streetscape should be of proportions and details that relate to existing door and window openings.</li> </ol>	1) N/A 2) N/A 3) N/A	Yes
H5.5 Outbuildings	<ol> <li>Outbuildings and carports should be located behind the front building alignment.</li> <li>Outbuildings should be single storey and designed and located so that they have negligible if any impact on the streetscape</li> </ol>	<ol> <li>All buildings not visible from the public domain</li> <li>This would be achieved</li> </ol>	Yes
H5.6 Fencing	<ol> <li>New fencing and gates for existing and proposed buildings should be designed to complement the style of the building and dominate character of the conservation area.</li> <li>Fencing constructed of solid material such as masonry forward of the building line should not be greater than 900mm in height above the adjacent public footpath level, unless justified.</li> <li>Original masonry fencing should not be painted, unless justified.</li> </ol>	<ol> <li>This would be achieved. Existing boundary fencing to be maintained. New timber internal fencing on the western extent of the motel development.</li> <li>N/A</li> <li>N/A</li> </ol>	Yes
H5.7 Advertising and Signage	1) Any early signage should not be removed, but retained and actively preserved, wherever possible, including signage related to original shopfronts or remnants of painted signs on the side walls	1) The pylon sign on Osman Street has been approved via DA 2022/0006 and would be retained. No other signage is present.	Yes



Section	Controls	Assessment	Compliance?
	of building. 2) New signs should be discrete and complementary to the historical significance of the building and streetscape and not visually dominate the area of building walls. 3) New signs should be placed in locations, which would have traditionally been used for advertising purposes, where possible and appropriate.	<ol> <li>2) New signage is proposed for the Church Street elevation at the top of the access handle. This would be low profile and discrete, sufficient to identify the site.</li> <li>3) Signage would be discrete and positioned to integrate with the locality</li> <li>4) Refer <b>Premise Drawing A005</b></li> <li>5) None of these forms of signage proposed</li> </ol>	
	4) The size of the sign and its contents/design (colour scheme, letters, number and symbols) must complement the scale of the building to which they relate and its streetscape.	<ul><li>6) No signage on commercial buildings would be visible from the public domain, and is therefore no classed as advertising</li></ul>	
	5) The following signs are not permitted, advertising affixed to trees, light poles or other structure not for the purposes of advertising structure, signs mounted above the awning or veranda of a building.	7) This is achieved.	
	6) Signage on commercial buildings is to be confined to:		
	a) An under-awning sign of an appropriate size and design;		
	b) A window sign in the ground floor shop front of an appropriate size and design;		
	c) A façade sign contained within a purpose designed panel of the building façade;		
	d) The façade of the building shall not be painted in corporate colours;		
	e) A fence sign, free standing sign or A – Frame sign of an appropriate size and design.		
	7) The architectural details of a building are not to be obscured by commercial signage.		

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## **APPENDIX C** STATEMENT OF HERITAGE IMPACT

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# APPENDIX D SERVICING PLANS

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# **APPENDIX E** STORMWATER MANAGEMENT REPORT

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# APPENDIX F SEWER CAPACITY REPORT

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# APPENDIX G

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# APPENDIX H TRAFFIC STUDY

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# **APPENDIX I** COST BENEFIT ANALYSIS

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# **APPENDIX J** DRAFT FACILITY PLAN OF MANAGEMENT

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# APPENDIX K NOISE ASSESSMENT

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Rovest Holdings Pty Ltd

# Stormwater Management Report

Blayney Motel

62 Osman Street, Blayney

December 2021

ENGINEERING PLANNING SURVEYING CERTIFICATION This is Page No. 448 of the Attachments of the Extraordinary Council Meeting of Blayney Shire Council held on 18 December 2024



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Project No.	210531	
Author	GL	
Checked	SB	
Approved	GL	

Rev No.	Status	Date	Comments
1	Construction Certificate	28/10/2021	
2	Construction Certificate	09/12/2021	Revised for Rev 2 Dwgs

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Attachment A - Proposed Development

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210531– 62 Osman Street, Blayney

Stormwater Management Report

# 1 Introduction

This report has been prepared to detail the results of the detailed design of the stormwater management of the proposed development at 62 Osman Street.

In considering the stormwater management at the site, this investigation will consider the following:

- The existing site conditions and stormwater quantity and quality.
- The design and installation of an on-site detention storage to control the storm events from 1 EY to 1% AEP.
- The design and installation of rainwater tanks and pit inserts to improve the quality of stormwater generated from the site.
- The stormwater quantity and quality generated as a result of the proposed development.
- Stormwater management and maintenance issues associated with the proposed infrastructure.

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210531– 62 Osman Street, Blayney

Stormwater Management Report

# 2 Site Location and Development Proposal

## 2.1 Site Location

The site of the proposed development is described as Lot 1 DP 162646, Lot 10 DP 1114679, Lot 8 DP 505215, Lot 20 DP 569741, Lot 11,12, 13 & 14 in DP 758121. The site is known as 62 Osman Street, Blayney. The location of the site is shown in Figure 1 below.



Figure 1 – Site Location (SIX Maps – Spatial Services)

# 2.2 Existing Site

The area of the site proposed for the current development is an existing lawn bowls club with associated club house and parking. Site access is located at the northern end of the site off Church Street and is bound by Osman Street to the west with a mix of residential and commercial properties bounding all other boundaries. The site generally drains to the south-east with no formal connection into Council's drainage network.

# 2.3 Proposed Development

The proposed development consists of the alterations to the existing site and the construction of movable accommodation buildings with associated car parking and stormwater drainage.

The stormwater quantity for the proposed development will be managed by the provision of an above ground basin within the new car parking area. The stormwater collected from the site will then be

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210531– 62 Osman Street, Blayney	Stormwater Management Report

discharged by a new drainage easement to the south through Lot 1 DP 718479 into Council's existing pit and pipe network on Water Street.

Stormwater quality from the proposed development will be managed by a rainwater re-use tank and the provision of OceanGuard pit inserts. The provision of the above ground OSD and stormwater quality devices have been provided to meet Council's objectives.

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210531– 62 Osman Street, Blayney

Stormwater Management Report

# 3 On-site Detention (OSD) Design

## 3.1 General

The discharge rate from the proposed development in accordance with the Blayney Development Control Plan 2018 is to "not significantly alter and/or worsen pre-development stormwater patterns and flow regimes". As such the post development flows for the development are to be restricted to be equal to or less than the pre-development flows.

Stormwater calculations for the development have been performed in the software package DRAINS and ARR2019 methods including IL-CL methodology for calculation of flows has been used. Rainfall data has been obtained from the ARR Data Hub and BOM for this specific site location.

# 3.2 Results

The above ground OSD has been designed to restrict the overall flows from the development to predevelopment levels. As such the flows calculated have considered any areas of the site that bypass the OSD basin. Additionally, the OSD has considered the interaction of flows from the upstream catchments that drain through the site to Water Street.

The above ground OSD is contained within the car parking area located in front of the existing building and has been designed for a maximum ponding depth of 200mm with freeboard of 300mm to the finished floor level of the ground floor of the building.

The discharge from the OSD is controlled by a combination of outlet structures, including an orifice and two overflow pits located at different heights. The size and location of the outlet structures have been detailed in the accompanying engineering plans.

A summary of the pre and post development flows is shown in Table 1 below.

AEP	Pre – Development (I/s)	Post Development (I/s)
1 EY	47	47
20%	149	111
10%	199	146
5%	242	178
2%	271	200
1%	331	221

### Table 1 – Pre and Post Development Discharge

Based on the demonstrated post development flows from the site, the proposed development will comply with Council's requirement to not worsen the pre-development stormwater patterns and flow regimes.

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210531– 62 Osman Street, Blayney Stormwater Management Report

# 4 Water Quality Design

## 4.1 General

The water quality from the proposed development in accordance with the Blayney Development Control Plan 2018 is to "maintain the water quality of receiving waters". As such the post development pollutant loading for the development is to be restricted to be equal to or less than the pre-development loading.

Water quality calculations for the development have been performed in the software package MUSIC (Model for Urban Stormwater Improvement Conceptualisation) and have used pluviograph data from the Orange Agricultural Institute (063254).

The pre-development and post development scenarios have been modelled to confirm Council's objectives have been met.

## 4.2 Music Modelling

The source nodes for the MUSIC model have been based on the standard MUSIC nodes and have been adjusted to match the area and imperviousness of the respective catchments. A summary of the parameters is summarised in Table 2 below.

1.000	Input Data			
Data Type	Roof Area	Driveway/Road Area	Unsealed Road Area	Footpaths/ Pervious
Rainfall Runoff Parameters				
Rainfall Threshold (mm/day)	1	1	1	1
Soil Storage Capacity (mm)	120	120	120	120
Initial Storage(%)	25	25	25	25
Field Capacity	80	80	80	80
Infiltration Capacity Factor (mm)	200	200	200	200
Infiltration Capacity Exponent	1	1	1	1
Total Suspended Solids				
Base Flow				
Mean	1.10	1.20	1.20	1.10
Std Dev	0.17	0.17	0.17	0.17
Storm Flow				
Mean	1.30	2.43	3.00	2.20
Std Dev	0.32	0.32	0.32	0.32

#### Table 2 - Input Parameters MUSIC Model

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10531– 62 Osman Street, Bl	layney		Stormwat	er Management Report
Total Phosphorus				
Base Flow				
Mean	-0.82	-0.85	-0.85	-0.82
Std Dev	0.19	0.19	0.19	0.19
Storm Flow				
Mean	-0.89	-0.30	-0.30	-0.45
Std Dev	0.25	0.25	0.25	0.25
Total Nitrogen				
Base Flow				
Mean	0.32	0.11	0.11	0.32
Std Dev	0.12	0.12	0.12	0.12
Storm Flow				
Mean	0.30	0.34	0.34	0.42
Std Dev	0.19	0.19	0.19	0.19

# 4.3 Results

As a result of a change in properties of the catchment, as part of the development the total pollutant generation from the site has increased due to the increase in impervious areas associated with the increase in the car parking area and roofed areas of the accommodation buildings. This results in an increase in pollutants from stormwater that does not infiltrate into the previously pervious area.

To reduce the pollutant loading to pre-development levels, the use of the following devices is proposed:

- A minimum 90kL rainwater tank capacity is to be provided in the existing above ground water tank, the collected rainwater shall be plumbed for re-use for toilet flushing and landscape watering
- 24 x OceanGuard pit inserts

As a result of the use of the proposed devices the total pollutant loading is reduced below the predevelopment loading, see Table 3 below.

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210531– 62 Osman Street, Blayney	Stormwater Management Report

## Table 3 – Summary of Water Quality Results

		Pre Development Loading	Post Development Loading	Percentage Reduction
Total Suspended Solids	(kg/yr)	1050	197	80.5%
Total Phosphorus	(kg/yr)	1.52	1.36	34%
Total Nitrogen	(kg/yr)	9.21	9.19	31.9%
Gross Pollutants	(kg/yr)	75.8	8.6	94.3%

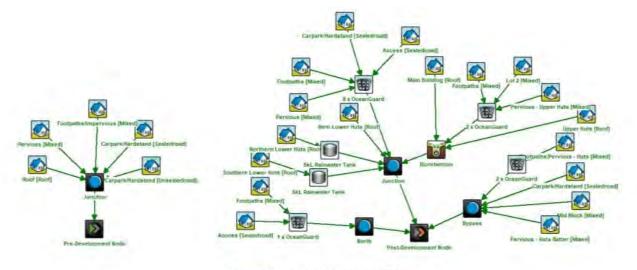


Figure 2 – MUSIC Model diagram

## 4.4 Summary

The results show that there is an improvement in the water quality discharging from the site in the post development case. These improvements result from the treatment processes provided by the installation of the proposed devices.

Based on the demonstrated improvement in water quality leaving the site in the post development case, the proposed development will comply with Council's requirement that it maintain the water quality to receiving waters.

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210531– 62 Osman Street, Blayney Stormwater Management Report

# 5 Maintenance Management

To ensure the system functions efficiently over the long term, it will be necessary to carry out regular maintenance on the stormwater system and the water quality devices.

The maintenance of the on-site detention systems will be undertaken during regular inspections and a maintenance schedule will have to be prepared. This schedule sets out the frequency of maintenance inspections and who should undertake them.

A similar maintenance schedule will be provided by the manufacturer of the pit inserts.

# 6 Recommendations

The investigations undertaken in preparing this report have shown that the stormwater generated from the proposed development can be adequately managed through the provision of appropriate drainage and water quality infrastructure on the site.

The specific results from the investigations undertaken have demonstrated that:

- 1. The proposed development will be drained to an above ground on-site detention basin system before discharging to a new inlet pit in Water Street.
- The existing upstream catchment draining into the site will be captured and conveyed through the site and drain into Water Street.
- 3. A portion of roof water from the accommodation buildings will be diverted to the existing above ground rainwater tank, which is to be reused on site for toilet flushing and irrigation.
- 4. The roof water tank will have an overflow, which will be diverted to the OSD basin.
- 5. The proposed development will have a beneficial impact on the quality of stormwater leaving the site through the installation of a rainwater tank and OceanGuard pit inserts.

The implementation of the systems and measures described above would provide an adequate means of disposing of runoff generated by the proposed development on the site and meet Council's objectives.

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210531– 62 Osman Street, Blayney

Stormwater Management Report

# 7 References

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Stormwater Management Report

Attachment A – Proposed Development

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BLAYNEY SHIRE COUNCIL BLAYNEY MOTEL DETAILED CIVIL ENGINEERING DESIGN CONSTRUCTION CERTIFICATE





LOCALITY NOT TO SCALE

# Prepared for: ROVEST HOLDINGS PTY LTD



ENGINEERING | PLANNING | PROJECT MANAGEMENT | SURVEYING | CERTIFICATION



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#### GENERAL NOTES

- ALL WORKS SHALL BE CARRIED OUT IN ACCORDANCE WITH THE DEVELOPMENT CONSENT AND BLAYNEY SHRRE COURCILS ENGINEERING SHEDPICATIONS AND AS STREEDERS THERE REPRESENTATIVE AND AUST INCLUBE AND INCREASENTY MORKS REQUIRED TO MAKE THE CONSTINUETION EFFECTIVE. ALL WORKS AND FUELD UTUITIVE RECENTION SHALL INCLUDE NO DESTITION COMPLETIVE.
- THE CONTRACTOR IS TO IDENTIFY, LOCATE AND LEVEL ALL EXISTING SERVICES. PROR TO THE COMMENCEMENT OF CONSTRUCTION WORKS AND WHERE NECESSARY MAKE ARRANGEMENTS WITH THE RELEVANT AUTHORITY TO RELOCATE DR ADULTS WHERE NECESSARY.
- ALL WORKS SHALL BE UNDERTAKEN IN ACCORDANCE WITH THE WORK HEALTH & SAFETY ACT 2017 AND ALL RELEVANT OCCUPATIONAL HEALTH & SAFETY POLICIES AND REQULATIONS. 10.1
- DIMENSIONS SHALL NOT BE ECALED FROM THE PLANS. CLARIFICATION OF IMENSIONS SHALL BE SOUGHT FROM THE SUPERINTENDENT OR REFERRED TO THE DESIGNER
- SURVEY MARKS SHOWN THUS A SHALL BE MAINTAINED AT ALL TIMES WHERE RETENTION IS NOT POSSIBLE THE ENCINEER SHALL BE NOTIFIED AND CONSENT RECEIVED PRICH TO THEIR REMOVAL. 5
- 6. ALL NEW WORK IS TO MAKE A SMOOTH JUNCTION WITH EXISTING CONDITIONS.
- 7 THE CONTRACTOR IS NOT TO ENTER UPON NOR DO ANY WORK WITHIN OR ON ADJACENT LANDS WITHOUT THE PRIOR APPROVAL OF THE SUPERINTERDENT AND THE WRITTEN PERMISSION OF THE OWNERS
- 9 THE CONTRACTOR SHALL MAINTAIN DUST CONTROL THROUGHOUT THE DURATION OF THE PROJECT.
- FELLED TREES SHALL BE SALVAGED FOR RE-USE AS WOODCHIP MULCH OR LOG FORM FOR SITE REFARMLISTION NON-SALVAGEABLE ANTERIAL SUCH AS STUMPS AND ROOTS SHALL BE APPROPRIATELY DISPOSED OF FS FILE
- 10 THE CONTRACTOR SHALL PROVIDE MINIMUM 24 HOURS NOTICE TO CERTIFIERS REPRESENTATIVE FOR ALL INSPECTIONS.
- 11 AU NATURAL SURFACE DATA HAS REEN DETERMINED BY TERBAN MODEL ING LL CONSTRUCTION SITE WORKS MUST BE CARRIED OUT USING THE BENCH MARKS SHOWN ON THESE ORALVINGS
- 15 THE TREES THAT ARE TO BE RETAINED ARE TO BE PROTECTED DURING AN THE TREES THAT ARE TO BE RETAINED ANE TO BE PROTECTED DURING ALL WORKS WITH AN EMBOYCHAWNER DEVICING WHICH OF TO BE PROTECTED AT LEAST THREE METRICTING HE ARE OF EACH TREE AND STOLE IN A LASE PROFIN DEVICE THE AND A DEVICE THE DURING WHICH THE AND STOLE IN A LASE PROFIN METRIC THREE AND A DEVICE THE DURING AND STOLE IN A LASE PROFIL WHICH THE ROOT PROTECTION ZONE PARAMON OF VEHICLES WITHIN THE ROOT REVIEW AND THREE AND THE REVIEW OF A DEVICE THE AND A TO BE ALL AREAS WITHIN THE ROOT PROTECTION ZONE ARE TO BE MULLIONE WITH REVIEW AND THE AND THREE THE AND THAT THE ROOT THE OTHER THE AND ALL AREAS WITHIN THE ROOT PROTECTION ZONE ARE TO BE MULLIONE WITH METRICLATION OF SERVICES WITHIN THE, ROOT PROTECTION ZONE WITH METRICALITING OF SERVICES WITHIN THE, ROOT PROTECTION ZONE WITH METRICALITING OF SERVICES WITHIN THE, ROOT PROTECTION ZONE WITH METRICALITING OF SERVICES WITHIN THE, ROOT PROTECTION ZONE WITH METRICALITING OF SERVICES WITHIN THE, ROOT PROTECTION ZONE WITH METRICALITING OF SERVICES WITHIN THE, ROOT THE ROOT THE ROOT THE AND THE METRICALITING OF SERVICES WITHIN THE, ROOT PROTECTION ZONE WITH METRICALITING OF SERVICES WITHIN THE ROOT THE REMAINS AND THE ROOT THE METRICALITING OF SERVICES WITHIN THE ROOT THE REMAINS AND THE REMAINS AND THE ROOT THE REMAINS AND THE ROOT THE REMAINS AND THE REMAINS AND THE ROOT THE ROOT THE REMAINS AND THE ROOT
- 14. A COPY OF THE DEVELOPMENT CONSENT AND STAMPED PLANS AND TRAFFIC CONTROL PLAN SHALL BE KEPT ON SITE AT ALL TIMES DURING CONSTRUCTION.
- 15. UF, DURING THE COURSE OF ANY WORKS, MY EVIDENCE OF AN ABORIGINAL ARCHARDLORICAL BITE OR RELICIES FOUND ALL WORKS ON THE SITE ARE TO CRASS AND THE OBFARMENT OF ENVIRONMENT AND CLARKED CHANGE AND THE NSW HERITAGE BRANCH ARE TO BE NOTIFIED IMMEDIATELY.
- IS US DURING THE COURSE OF ANY WORKS, ANY EVIDENCE OF A EUROPEAN ARCHARD RECEARS OF RELICIS FOUND. ALL WORKS ON THE SITE ARE FOR RELIARD RECEARS AND THE NEW HEIRTAGE BRANCH CONTACTED IMMEDIATELY. ALL, RELICIS ARE TO BE RETAINED IN STULUTIESS OTHERWISE DIRECTED BY THE NSW HERITAGE BRANCH.
- ANY NEW INFORMATION, WHICH DOMES TO LIGHT DURING CONSTRUCTION WORKS, WHICH HAS THE POTENTIAL TO ALTER PREVIOUS CONCLUSIONS ABOUT BITE CONFAMINATION SHALL BE IMMEDIATELY NOTIFIED TO COUNCIL
- 15. CONSTRUCTION INSPECTIONS ARE REQUIRED FOR THE ENGINEERING WORKS IN ACCORDANCE WITH THE RELEVANT LOCAL COUNCIL WORKS SPECIFICATION.
- 19. SEDMENT MEASURES SHALL BE IMPLEMENTED PRICE TO SOIL DISTURBANCE IN REEPING WITH THE 4IN EDITION OF LANDIGONE "SOLS AND CONSTRUCTION MANAGING URBAN STDRWATER" MARCH 2004 TO THE SATISFACTION OF COUNCIL'S REPRESENTION FOR AND SHOWNIN THESE DRAWINGS.
- 20 THE CONTRACTOR SHALL CLEAR AND DISPOSE OF ONLY THOSE TREES THAT ARE COMPERATED BY THE PEAKS COUNCIL'S TREE INSERTIATION ONDER SHALL BE DISERVED AND NO TREE SHALL BE FELLED, LOPPED OR REMOVED WITHOUT FRIGR APPROVAL DE COUNCIL
- 21 THE CONTRACTOR SHALL CLEAR THE SITE BY REMOVING ALL RUBBISH. FENCES, OUT HOUSES, CAR BODIES, DEBRIS, ETC THE CONTRACTOR SHALL NOT DISPOSE OF ANY DEBRIS BY SURVING OFF IN AN OPEN FRE.

#### ROADWORKS NOTES

- THE CONTRACTOR SHALL UNDERTAKE TRAFFIC CONTROL MEASURES TO COUNCIL'S SATISFACTION AND SHALL DISPLAY ALL APPROPRIATE WARNINE SIGNS THROUGHOUT THE DURATION OF CONSTRUCTION
- 2. UNSOUND MATERIALS AS DETERMINED BY THE COUNCIL'S REPRESENTATIVE

#### EARTHWORKS NOTES

- CARE IS TO BE TAKEN BURING THE CONSTRUCTION OF THE PROPOSED WORKS TO ENBURE NATIONAL VECETATION AND TOPOGRAPHY ON THE SUBJECT THE IS NOT UNRECESSARILY DOSTURIED ANY EXCANATION NATERIA, NOT USED IN THE CONSTRUCTION OF THE SUBJECT WORKS IS TO BE REMOVED FROM THE SITE AND ONDER NO CIRCUMSTACCES IS TO BE DEPOSITED IN BUBILIAD AREAS. 2 COUNCIL MUST BE NOTIFIED OF ANY DAMAGE TO THE PUBLIC WETASTRUCTURE SUCH AS BOAD PAVEMENT, KERE AND GUTTER, CONTRETE FOOTPATHE DRAMAGE STRUCTURES, UTILITIES AND UMOSCAPHIG FRONTING THE DEVELOPMENT.
- LAISOAND WATERALS AS DETERMINED BY COUNCIL'S REPRESENTATIVE SHALL BE REMOVED FROM ROADS AND LOTS PRIOR TO ANY FILLING 4. ALL STIE REGRADING AREAS SHALL BE GRADED TO THE SATISFACTION OF COUNCIL'S REPRESENTATIVE. THE CONTRACTOR SHALL TAKE LEVELS ON THE EXISTING SUPPACE AFTER STREPING TOPSOID, AND PRIOR TO COMMERCING ANY
- FILL OPERATIONS 5. SURPLUS EXCAVATED MATERIAL SHALL BE PLACED OR DISPOSED OF IN ACCORDANCE WITH THE CONTRACT OR AS DIRECTED BY THE SUPERIMIENDENT
- 4. ALL SITE FULLING SHALL BE PLACED IN LAYERS NOT EXCEEDING COUNCILS AND
- AL SITE FLUXUS SHALL BE FLACED IN LAVENING EXCEEDING CONCUS AND GEOTECH REQUIREMENTS FLUIS TO BE COMPACTED IN ACCORDINGE WITH GEOTECH SPECIFICATIONS AND BE TESTED AT THE REQUIRED INTERVALS BY AN APPROVED IN A TA, CEOTECHNICAL LARORATORY.
- 7 MINIMUM 150mm THICK TOPSOIL SHALL BE SPREAD ON ALL BERKS, BATTERS AND SITE RECEADING AREAS EXCESS TOPSOIL SHALL BE DISPOSED OF AS DIRECTED BY THE SUPERINTERDENT.
- 8 ALL LAND DISTURGED BY EARTHWORKS SHALL BE SIRVAY GRASEED TURFED OR SMUJARLY THEATED TO ESTABLEM GRASE SOVER, BEED MOTURES ARE TO BE APPROVED BY COUNCE, PROF OT SPRAYING, ALL GRASED AND AREA SHULL BE IREGULARLY WATERED AND MAINTAINED UNTIL EXPIRATION OF THE MAUNTEMANCE PERIOD.
- 9 THE DISPOSAL (LANDELL) OF SURPLUS EXCAVATED MATERIAL, OTHER THAN TO A те озграна, и молен, от силятия, силательна, отнетия тими, отнетия тими, отнетия тими, отнетия, алектом, как обеспаственево силания и силания силания силания, силания, алектом, как обеспась, от чалете мисли воспася воссилито на телик, а на верасно се не еготостоки, от чалете мисли воспася воссилито на телик, а на верасно се то зывятития, телик не цинества социе, а мисли силание и техна, и заявись инстранции отекаловая как и силания и некана, сопера на инстрании отекаловая как и съсемато на как и сопера на силания и на силания соперато на силания и некана, сопера на силания и обеспаси на как и на силания силания на силания соперато на силания обеспаси на как и на силания силания на силания на как и на силания на силания на как и на силания на силания на как и на силания на силания на силания на силания на силания на как и на силания на силания
- 111 THE ONLY WASTE DERIVED FILL MATERIAL THAT MAY BE RECEIVED AT THE

#### SERVICE NOTES

- THE CONTRACTOR IS TO DENTIFY LOCATE AND LEVEL ALL EXISTING SERVICES PRIOR TO THE COMMENCEMENT OF CONSTRUCTION WORKS AND WHERE NECESSARY WARE ARRANGEMENTS WITH THE RELEVANT AUTHORITY TO RELOCATE OR ADJUST.
- 8. BARKER RYAN STEWART DOES NOT ACCEPT ANY LIABILITY FOR INACCURACIES IN HE SERVICE INFORMATION SHO
- 3. CONDUITS SHALL BE LAID AFTER POSITIONS HAVE BEEN DETERMINED BY THE HELEVANT AUTHORITIES AND REFORE FINAL PAVEMENT IS LAID
- 4 POSITION OF CONDUITS SHALL BE MARKED ON THE KERE
- 5. THE CONTRACTOR SHALL MAINTAIN SERVICES AND ALL WETHER ADCESS AT ALL TIMES TO THE ADJOINING PROPERTIES.
- R. CARE SHALL BE TAKEN WHEN EXCAVATING NEAR EXISTING SERVICES, NO MECHANICAL EXCAVATION SHALL BE INDE OVER TELESTRA OR ELECTRICAL SERVICES, EXCAVATE BY HAND ONLY IN THESE AREAS

#### DRAINAGE NOTES

- 1. ALL PITS DEEPER THAN 1.2m SMALL HAVE STEP ROWS PROVIDED IN ACCORDANCE WITH GOUNCE'S STANDARDS
- 2 ALL DRAINAGE LINES THROUGH THE LOTS SHALL BE CONTAINED WITHIN THE EASEMENTS AND CONFORM WITH COUNCIL'S STANDARDS
- ALL DRAINAGE LINES UNDER ROADS SHALL BE BACKFELED WITH SHARP SAND AND HAVE SUM OF ACREDITURAL LINE WRAPPED IN AN APPROVED FILTER FABRIC, DISCHARGING RICG THE DOWNSTREAM PT.
- SUBSOL DRAINS SHALL BE CONSTRUCTED TO THE SATISFACTION OF COUNCIL'S REPRESENTATIVE
- PRECAST KERB INLET LINTELS SHALL BE USED ON GULLY PITS, GRATES SHALL BE WELD DKY TYPE GOOD OR APPROVED EQUIVALENT
- ON COMPLETION OF PIPE INSTALLATION, ALL DISTURBED AREAS MUST BE RESTORED TO DRIVINAL CONDITION INCLUDING KERRS, FOOTPATHS, CONCRETE NREAS, GRAVEL AREAS, GRASSED AREAS AND KOAD PAVEMENTS.
- TRENCH WOTHS ARE TO BE KEPT TO A IMMAMIM. CONSISTENT WITH LAYING AND BEDING OF THE RELEVANT SERVICE AND CONSTRUCTION PERSONAL ACCESS WAYS AND PTS. SECENT OF AUTHORIZE STANDARDS FOR MAINIMA REACH WITHS STANDARD TREVAN WITHS AND THE DIMENSION OF UNKNOWRITED THENCHES SEPTONE ECONATIONS TO THE REQUIREMENTS OF THE ODIGITIACIENT SECTION OF THE REQUIREMENTS OF THE ODIGITIACIENT SEA AREDICED.
- PITS ARE TO BE CONSTRUCTED IN ACCORDANCE WITH ASSISTS 3003 FLUMBING AND DRAINAGE -STORMWATER DRAINAGE STANDARD UNLESS OTHERWISE SPECIFIED BE THE LOCAL COUNCIL OR AUTHORITY
- 9. PIT SIZES IN ACCORDANCE WITH AS3500.3 2003 AND/ OR COUNCIL RECUBERNENTS.
- 10. IF A PIT IS SHOWN ON THE KERB AUGMMENT IT IS REQUIRED TO BE CONSTRUCTED AS A KERB INLET PIT UNLESS OTHERWISE NOTED.
- BACKFILL TRENCHES IN ACCORDANCE WITH COUNCIL REQUIREMENTS WITHOUT DELAY FOR THE SECTION OF PIPE THAT HAS BEEN COMPLETED AND APPRICIPED IF POSSIBLE ON THE SAME WORKING DAY.
- 12. ALL PITS WITHIN TRAFFICABLE AREAS TO BE FITTED WITH CLASS D GRATES GRATES IN NON TRAFFICIABLE AREAS TO BE FITTED WITH CLASS B GRATES GRATES IN FOOTPACHS TO BE FITTED WITH HEELPROOF GRATES

#### COUNCIL NOTES

WORKS CARRIED OUT TO BLAYNEY SHIRE DOUNCIL STANDARDS AND SPECIFICATIONS

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EX. OVERHEAD ELECTRICITY	
EX. UNDERGROUND ELECTRICTY	
EX. GAS MAIN	
EX. SEWER MAIN	
EX WATER MAIN	

Scales Plan

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Datum A.H.D.

REV AMENDMENT

1 CONSTRUCTION CERTIFICATE

2 CONSTRUCTION CERTIFICATE

3 CONSTRUCTION CERTIFICATE

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	28/10/2021		BARKER
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#### BLAYNEY MOTEL DETAILED CIVIL ENGINEERING DESIGN

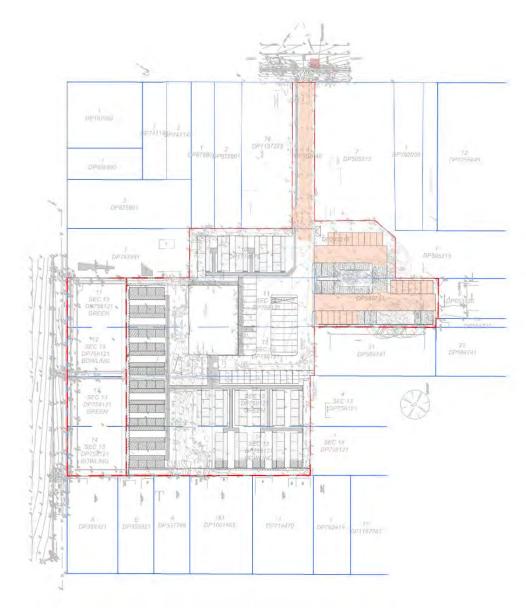




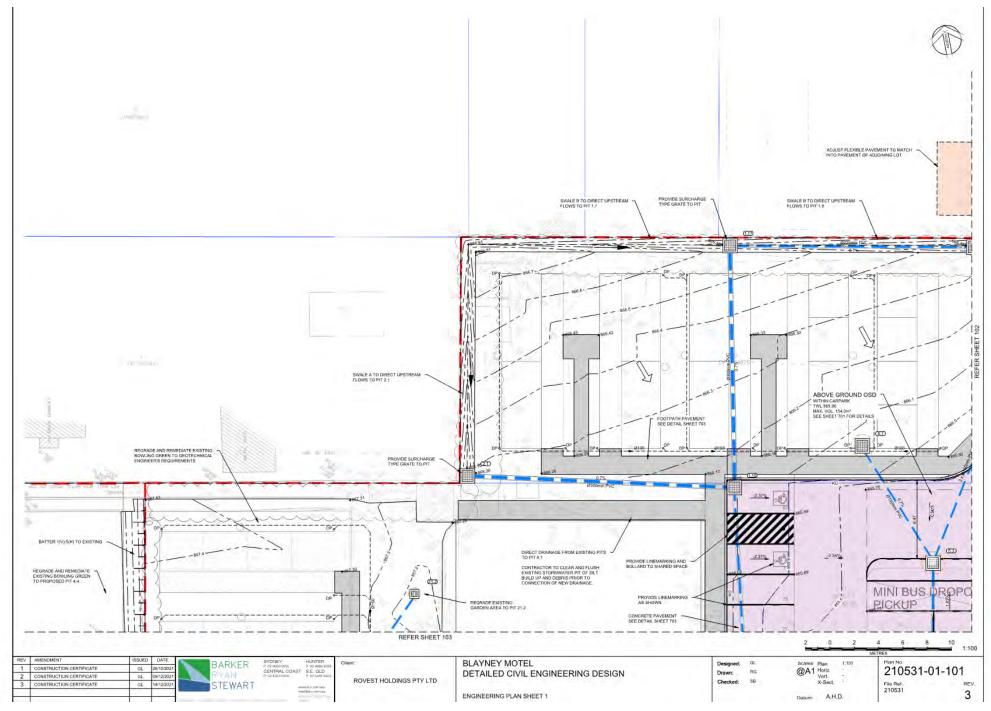


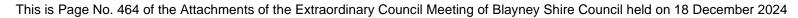
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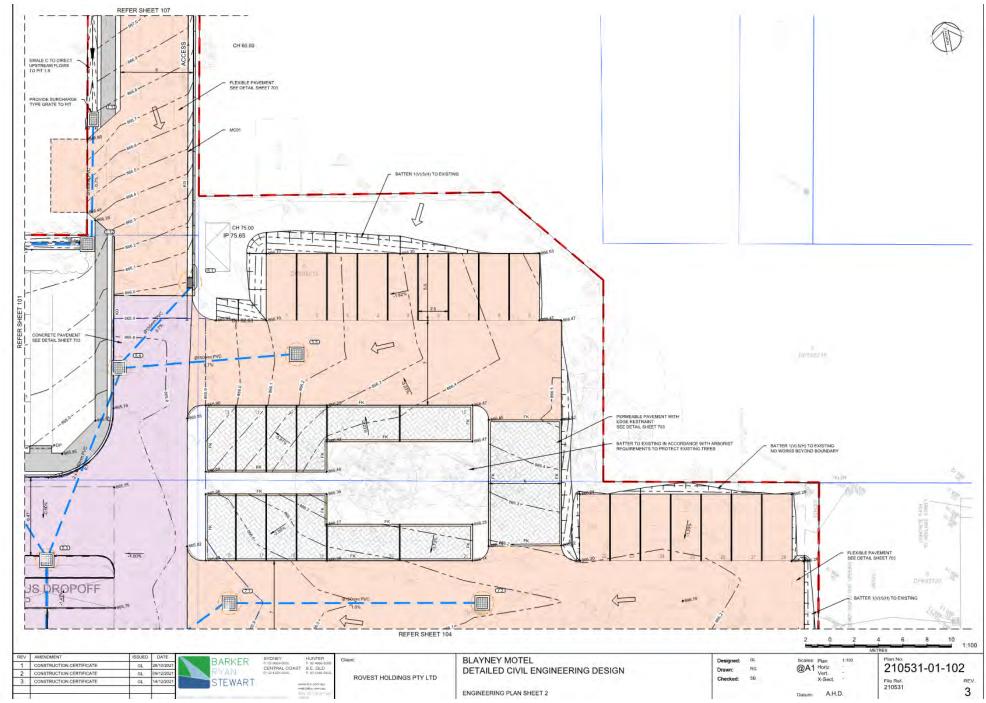
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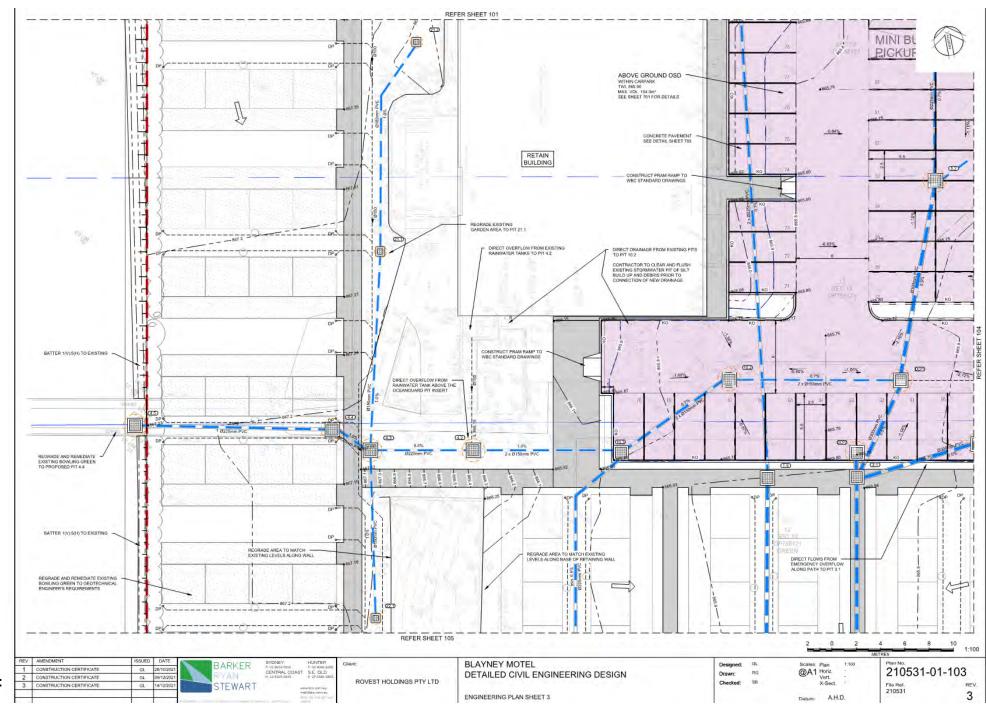


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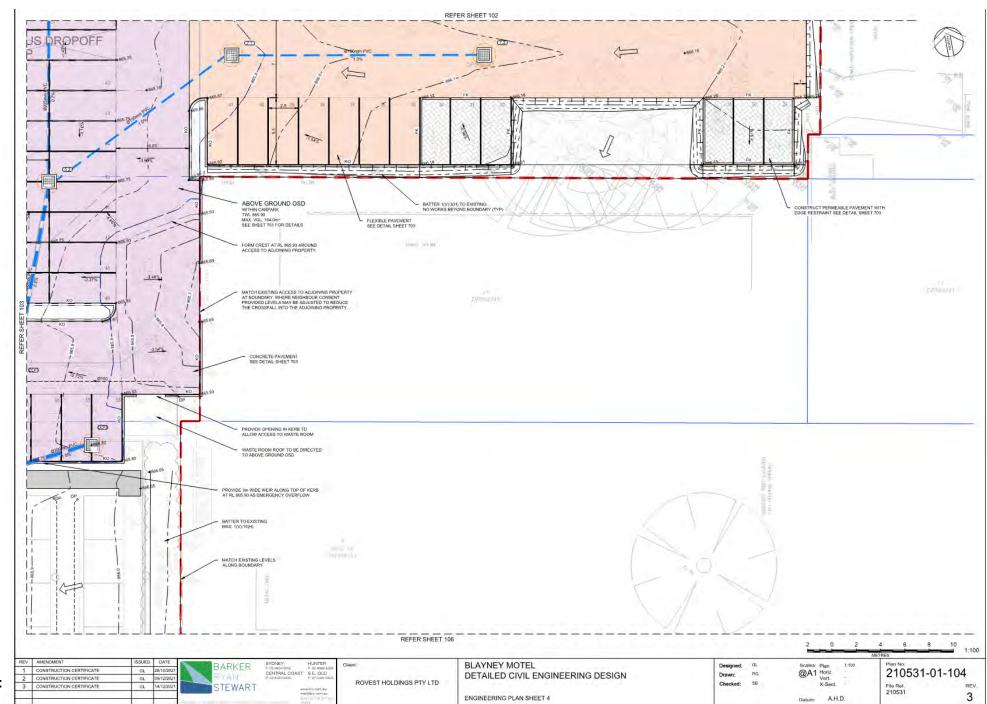






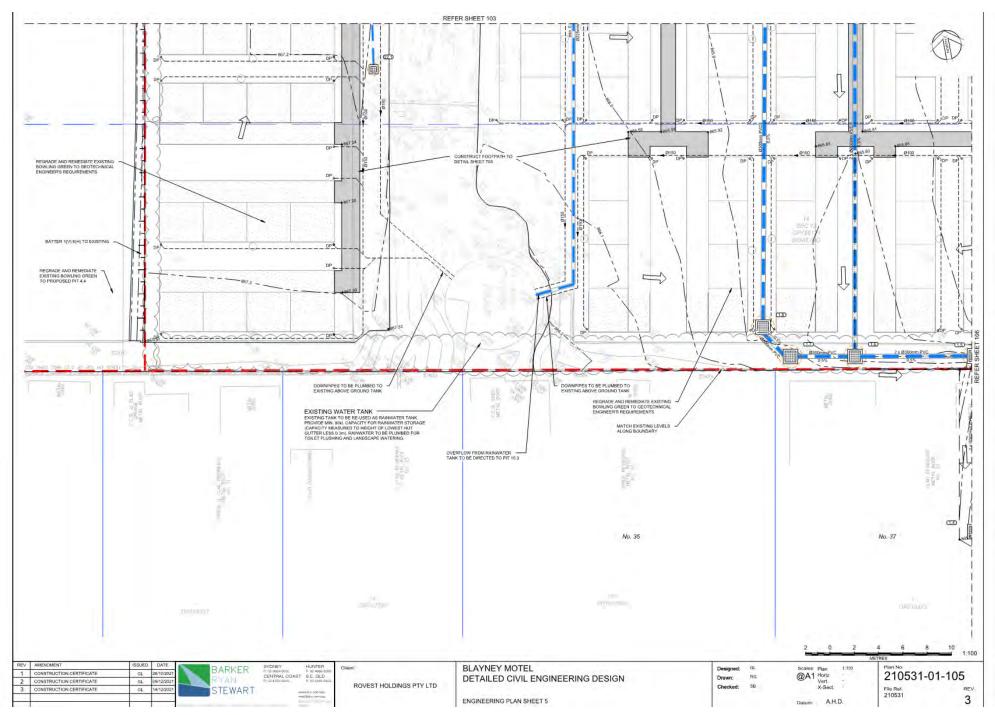


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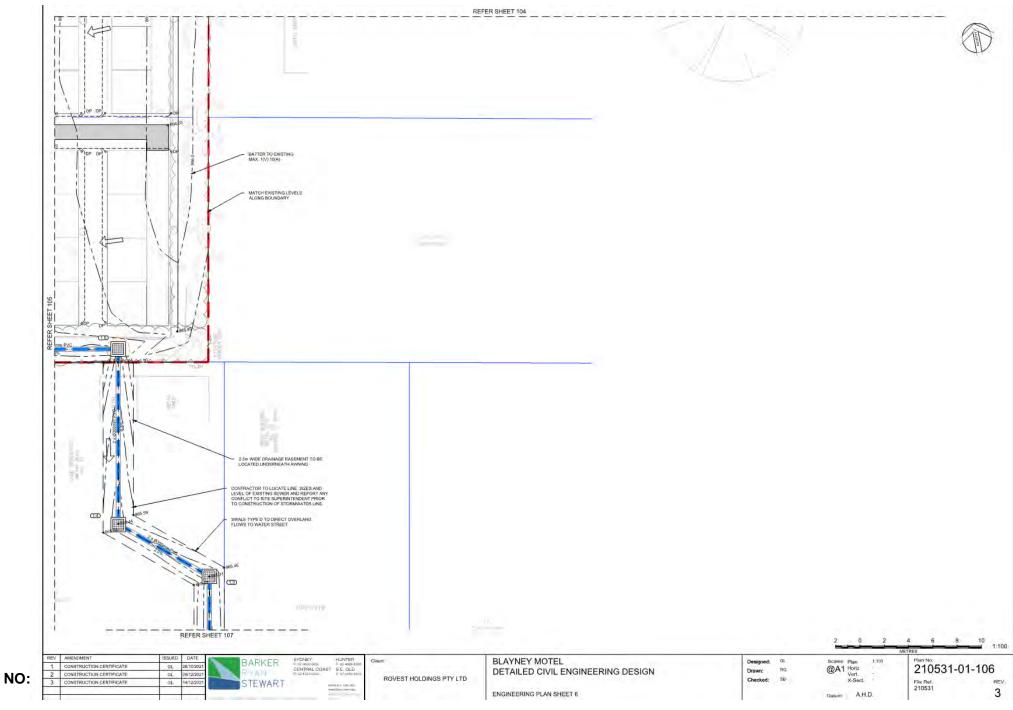


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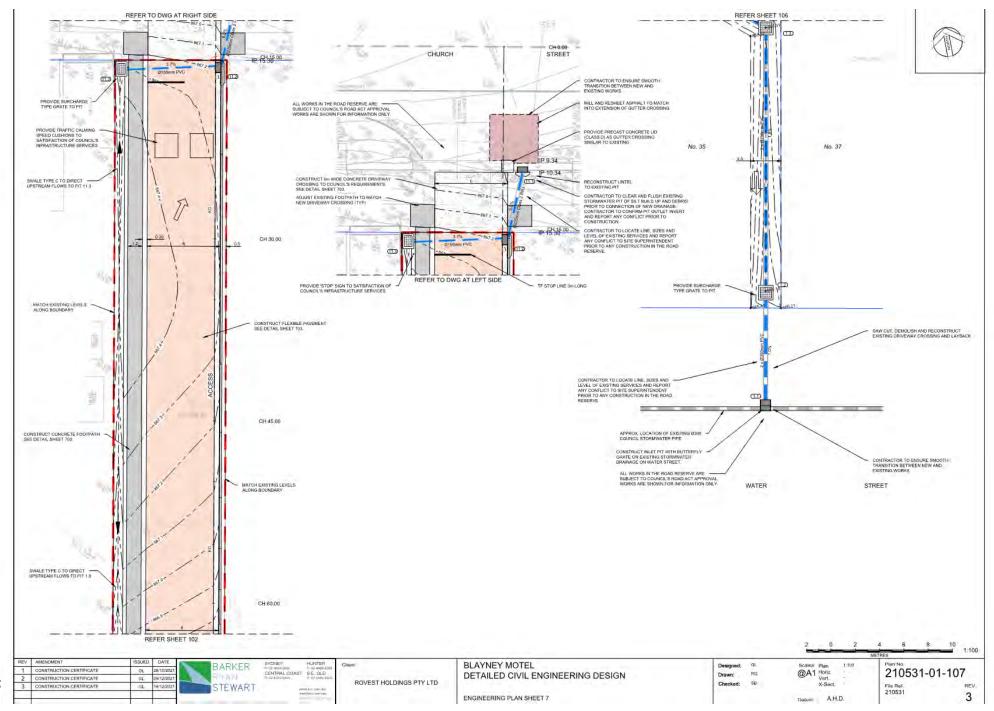


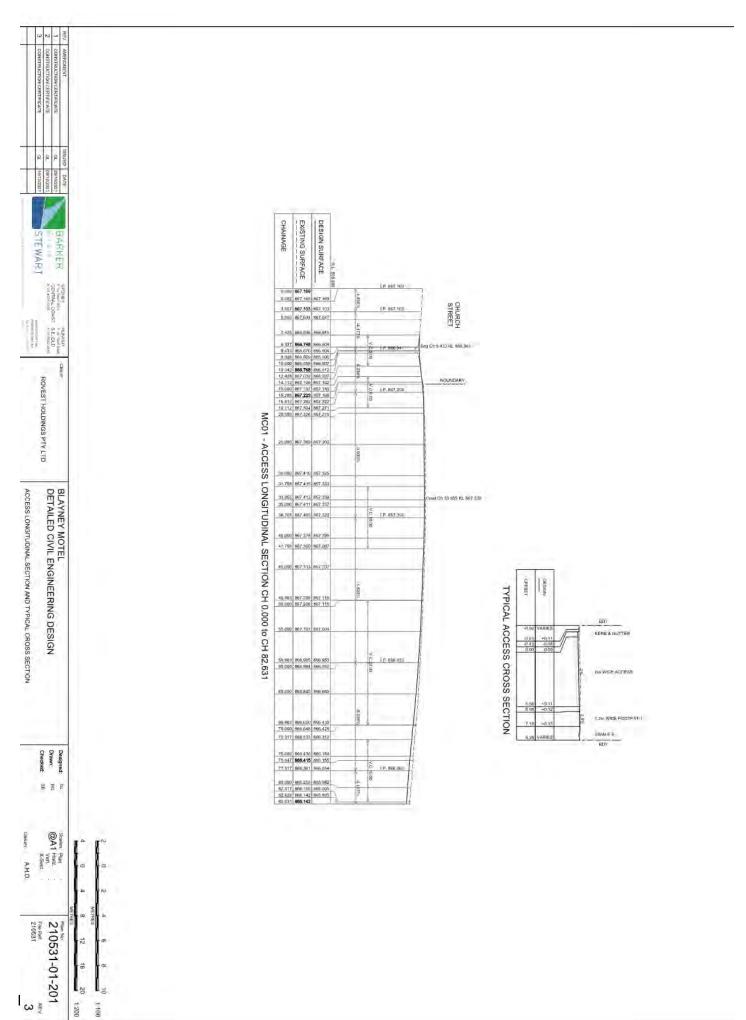


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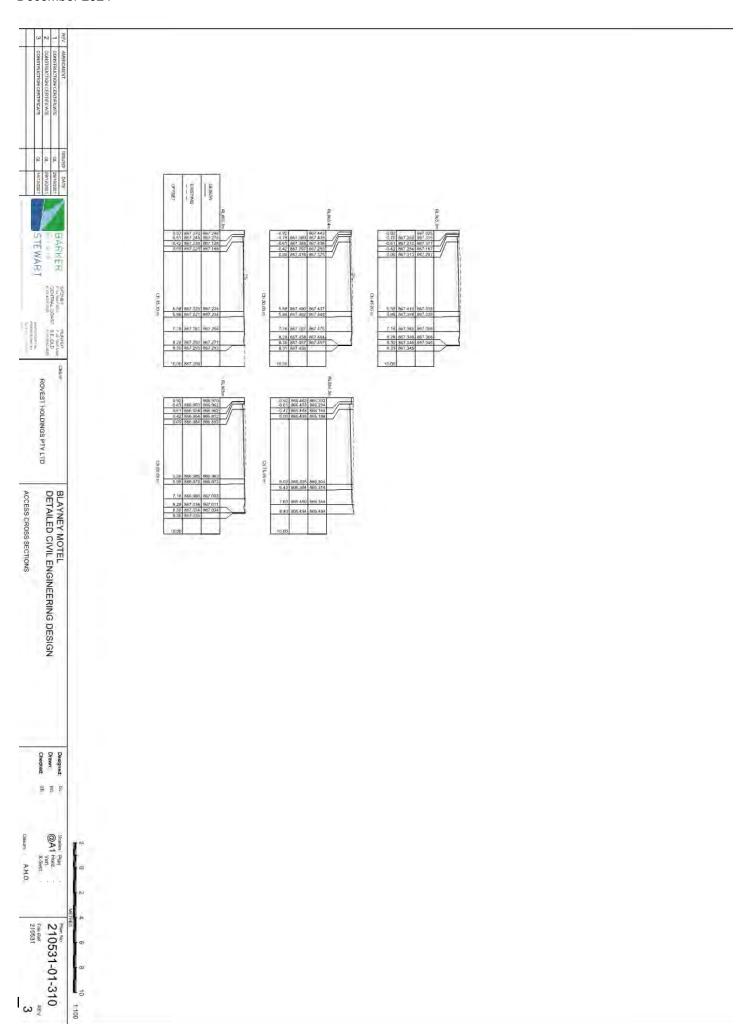


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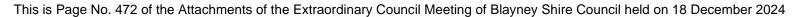




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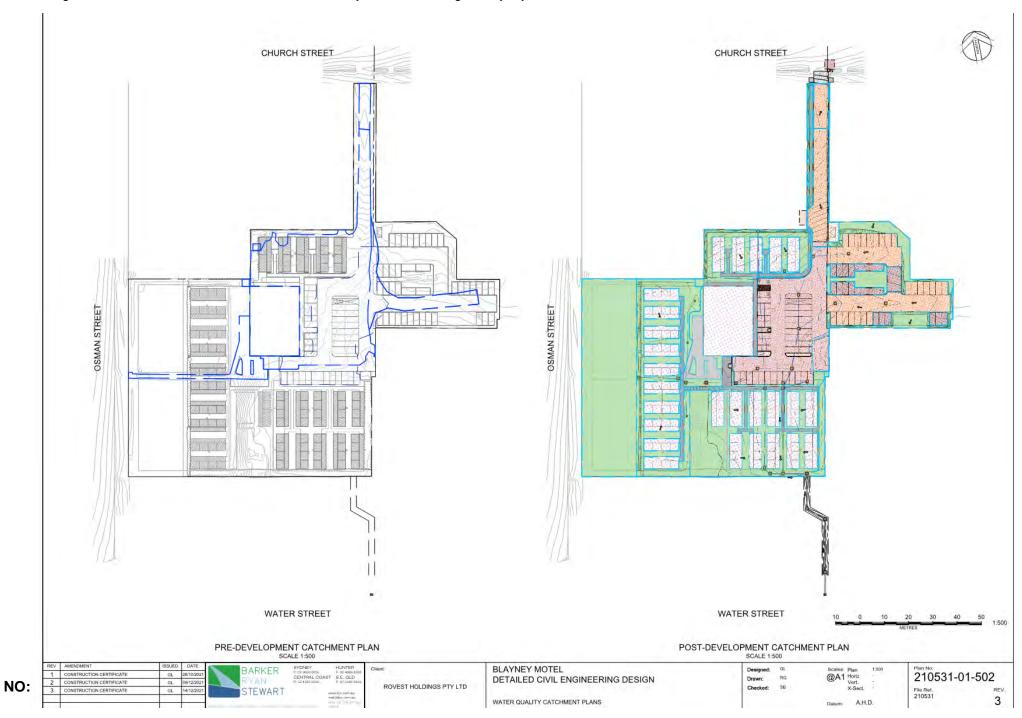


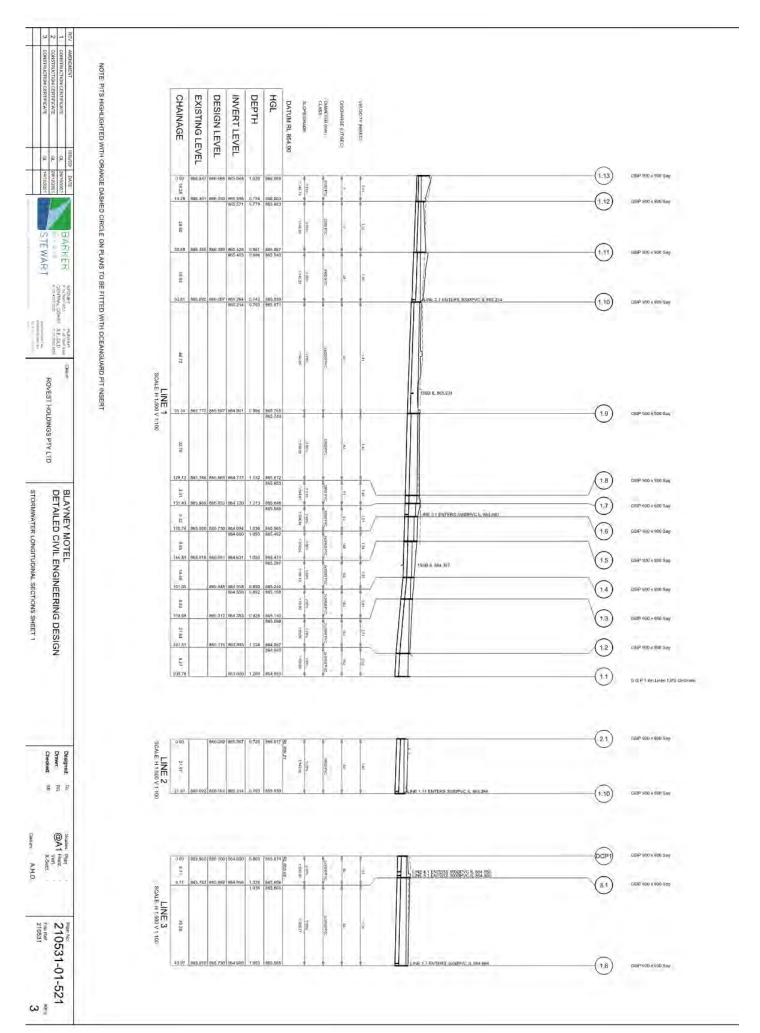
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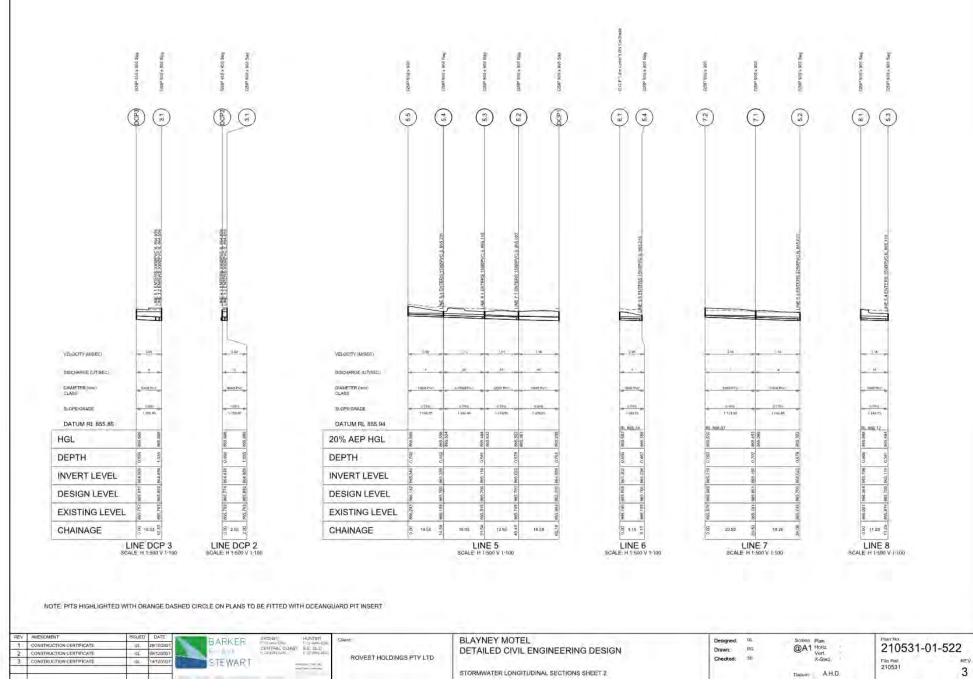


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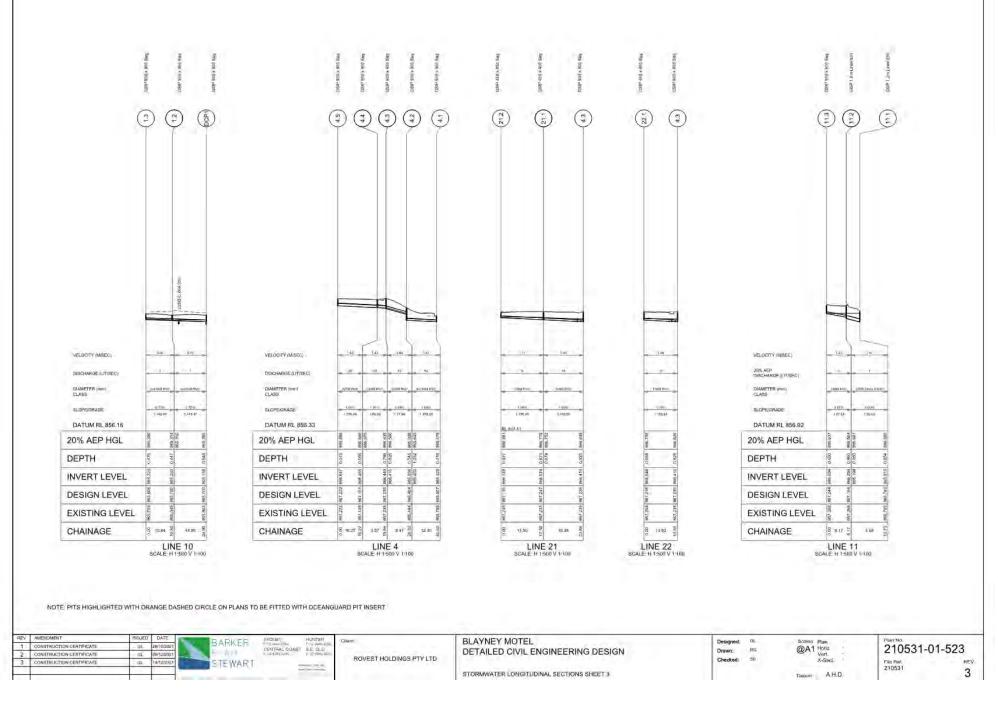




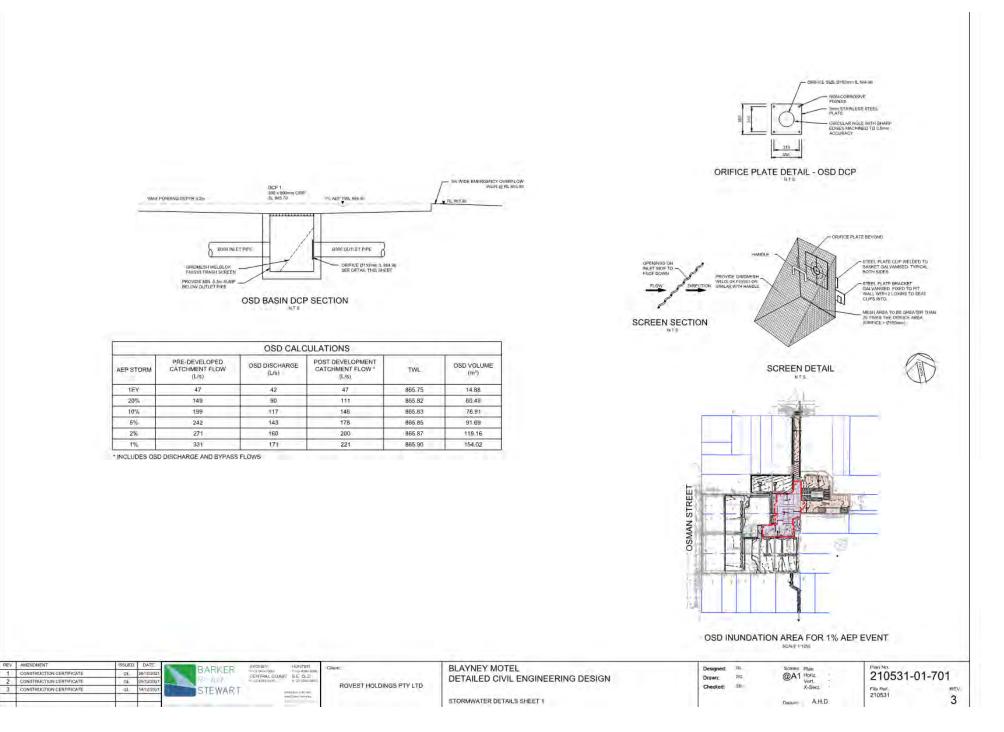
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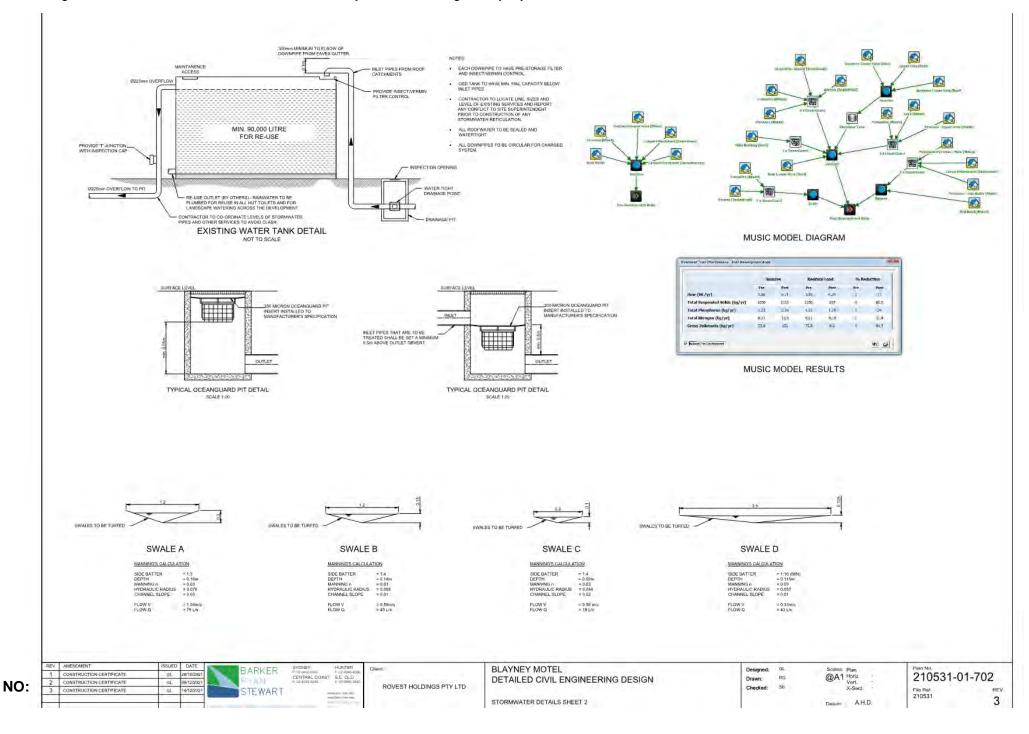
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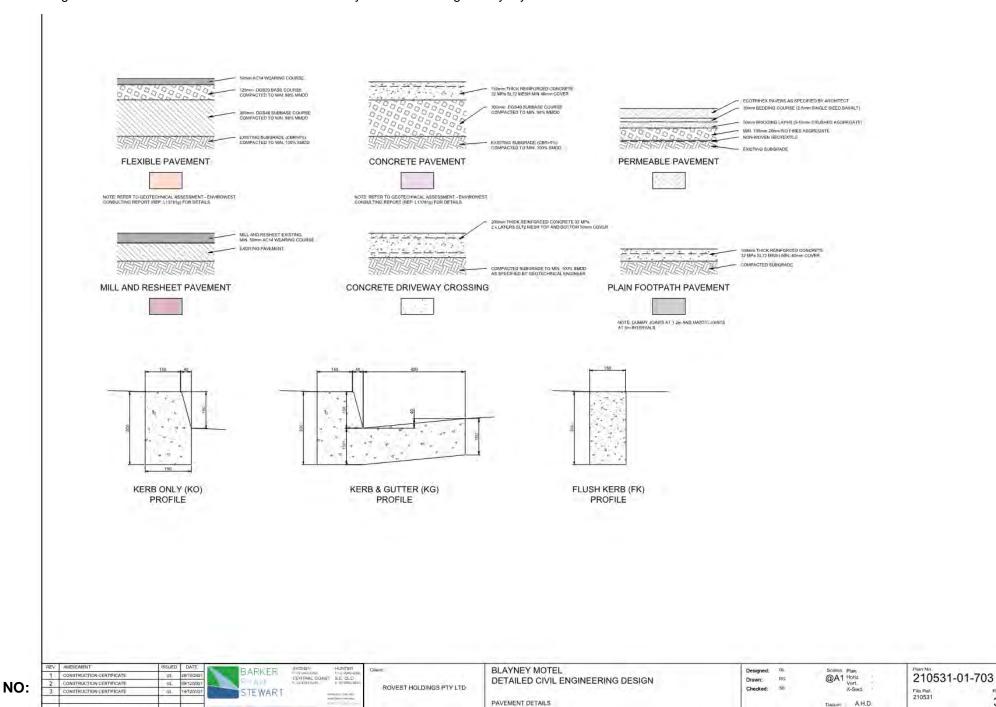


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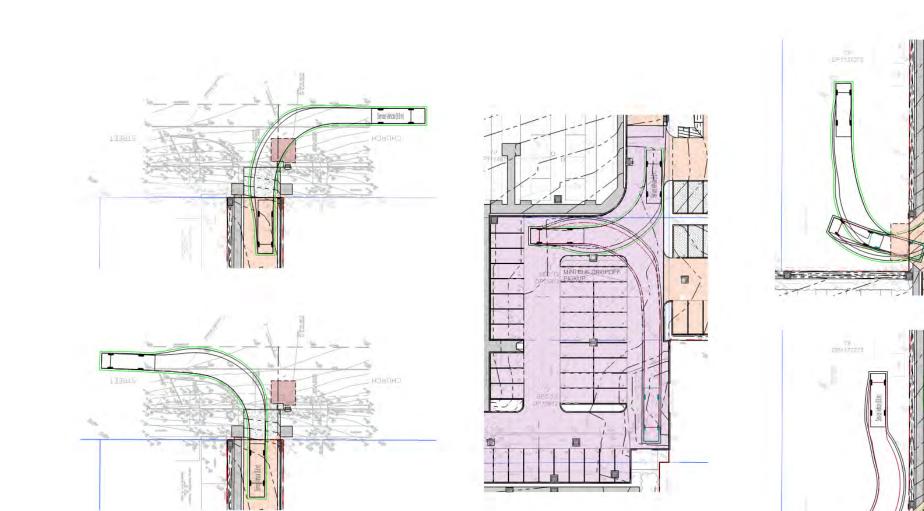




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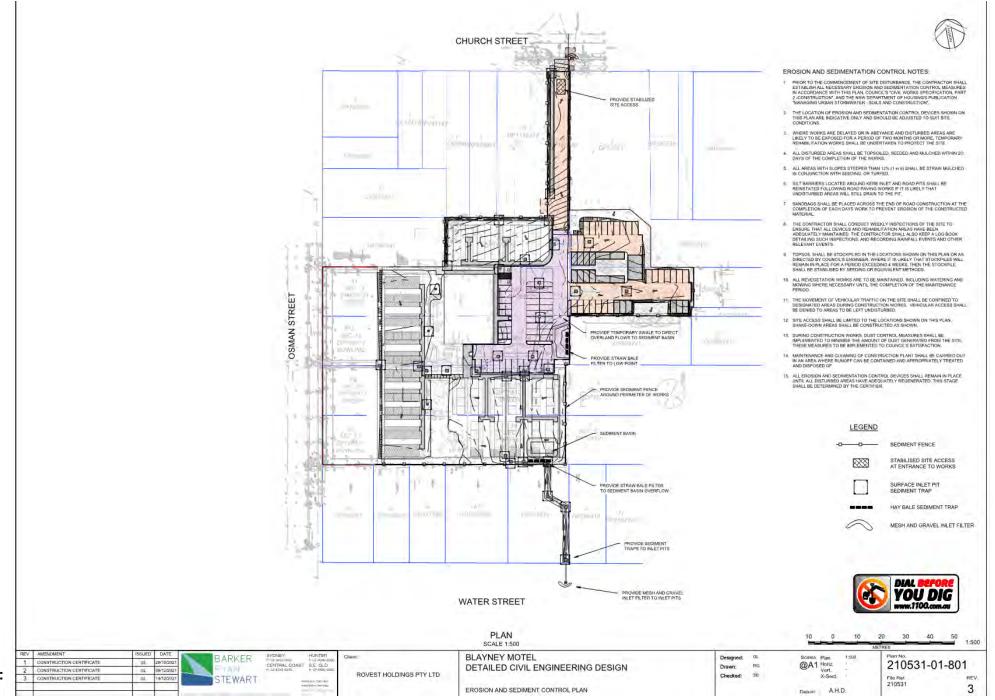
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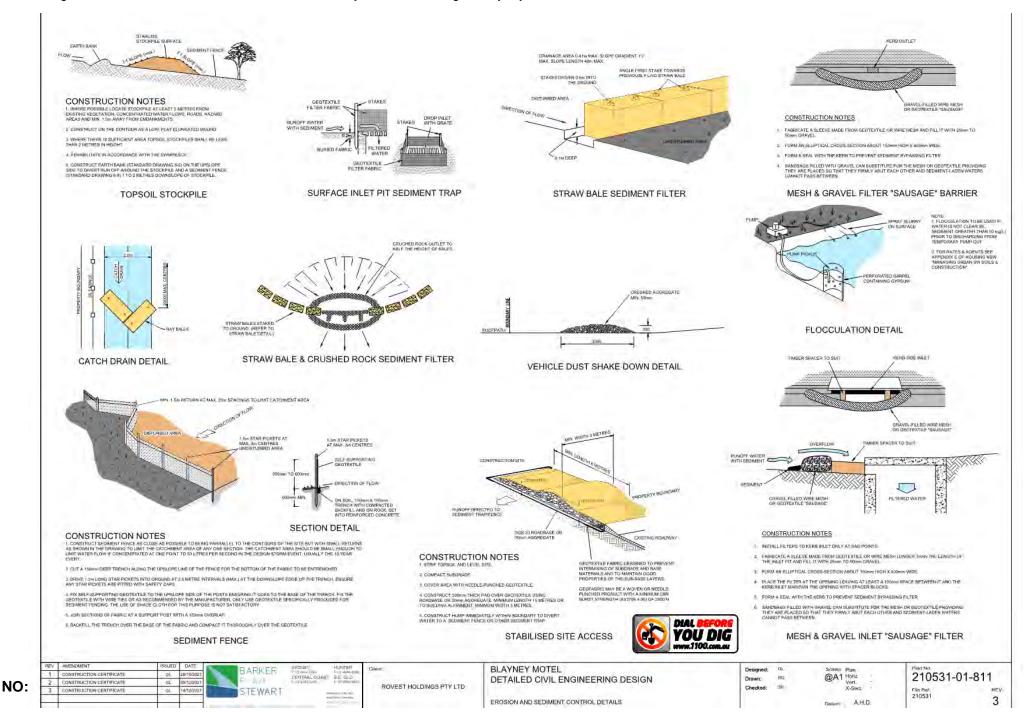
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# **Traffic Study**

# PROPOSED BLAYNEY MOTEL

Report No: 220022\_REP Rev: 002B 27 June 2023 This is Page No. 484 of the Attachments of the Extraordinary Council Meeting of Blayney Shire Council held on 18 December 2024

TRAFFIC STUDY PROPOSED BLAYNEY MOTEL



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Document reference: 220022\_REP\_002A

DOCUMENT A	UTHORISATION				
Revision	Revision Date	Report Details			
A	14/04/23	For issue		1.12	
В	27/06/23	Updated to respond to Council RFI			
Prepared By		Reviewed By	2.	Authorised By	
David Walker	Durke	Mark Raikhman	Ale	David Walker	Dula

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TRAFFIC STUDY PROPOSED BLAYNEY MOTEL



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# 1. EXECUTIVE SUMMARY

## 1.1 Development Summary

Location: 62 Osman Street, Blayney (Lot 1 DP 162646, Lot 8 DP505215, Lot 20 DP569741, Lots 11, 12, 13, 14, Section 13 DP758121, and Lot 10 DP1114679) and 37 Water Street, Blayney (Lot 1 DP718479)

Use: Proposed motel development

Access: Church Street via battle-axe driveway measuring 8.5 metres wide

Car Parking: Premise drawings 220022\_13B\_A001-A012

# 2. INTRODUCTION

# 2.1 Background

The purpose of this Traffic Study is to examine the potential traffic impacts of the proposed motel to be developed at 62 Osman Street and 37 Water Street, Blayney, being formed of Lot 1 DP 162646, Lot 8 DP505215, Lot 20 DP569741, Lots 11, 12, 13, 14, Section 13 DP758121, Lot 10 DP1114679 and Lot 1 DP718479.

This traffic study has been prepared to accompany the Statement of Environmental Effects (SEE) for the development.

# 2.2 Site location

The site is located in the centre of a town block with commercial development to the east fronting Adelaide Street, a mix of residential and commercial developments fronting Church Street and residential development fronting Osman and Water Streets.

The Blayney Central Business District is around 100 metres to the east of the site and hosts a range of commercial buildings.

# 2.3 Site description

The site is irregular in shape, has a frontage to Osman Street in the west and a vehicular access driveway connection to Church Street in north.

The site is characterised by the former bowling club use, with a main two storey club house building in the centre of the sites, together with outdoor bowling greens, car parking areas and various ancillary structures. The former bowling club building is unremarkable in appearance with limited streetscape value or architectural merit. The building is well set back from Osman Street.

A number of larger established trees are present in the east of the site within the former car parking area. The majority of these would be retained, with some unhealthy specimens to be removed.

The subject site is depicted in Figure 1.

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Figure 1 - Subject site



> Premise

ROVEST HOLDINGS PTY LTD Proposed Motel

Legend	
	Site
	Cadastre
	Road

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TRAFFIC STUDY PROPOSED BLAYNEY MOTEL



# 2.4 Proposed development description

The development involves the delivery of a proposed motel development on land at 62 Osman Street, Blayney (Lot 1 DP 162646, Lot 8 DP505215, Lot 20 DP569741, Lots 11, 12, 13, 14, Section 13 DP758121, and Lot 10 DP1114679) and 37 Water Street, Blayney (Lot 1 DP718479). The site features the former Blayney Bowling Club. 37 Water Street hosts an existing detached dwelling and shed.

The development includes:

- The authorisation and use of the 25 accommodation buildings on site, including completion of necessary works to provide a total of 92 single bed motel rooms;
- 2. The delivery of the 26<sup>th</sup> building to site, which provides two (2) further disabled accessible rooms, including connection of existing installed underground services and authorisation for use;
- The refit of two (2) existing modular buildings to provide four (4) disabled accessible rooms, bringing the total number of disabled accessible rooms on site to six (6) (noting an additional two (2) rooms are provided in stage 3, as approved via DA 06/2022) and total motel rooms in stage 1 being 102 (92 single, 4 double and 6 disabled accessible) – as reflected in **Premise Drawing A008, A009 and A010** provided in **Appendix A**;
- 4. The completion and use of 81 at grade parking spaces (including seven (7) disabled accessible spaces) and existing internal driveway connecting from Church Street to the north of the development site.
- 5. The installation of a 1m x 1m illuminated sign along the Church Street frontage to advertise the motel, utilising an existing pylon associated with the former bowling club use.
- 6. The completion/connection and authorisation for use of the necessary services already installed on site (i.e., sewerage, water and electricity).
- 7. Continued development and finalisation of works to a portion of the ground floor of the former bowling club building to provide a reception area, communal kitchen and laundry, storage rooms and male and female amenities, together with the ongoing use of this area in relation to the proposed motel use of the site.
  - 8. The continued development, finalisation and ongoing use of associated boundary fencing and landscaping including screened garbage bin enclosures.
  - 9. Use of the concrete car parking and driveway areas in relation to the motel use of the site as sought by points 1-3.

The arrangement of the modular units has been carefully designed to make effective use of the site, whilst ensuring that the development integrates with the surroundings, including installing the modular buildings on the former bowling greens and other cleared areas. Areas historically used for car parking would generally be used for parking for the proposed motel development.

The development will employ up to 10 cleaning and administration staff, who will visit the site daily to perform cleaning, maintenance and management responsibilities.

24 hour check-in will be possible via utilisation of digital and/or traditional methods of entry.

Lighting would be installed within the site to provide a safe and secure environment. It would be designed to satisfy the requirements of *4282-1997 Control of the obtrusive effects of outdoor lighting* to ensure impacts to adjacent landowners are minimised.

An existing right of way exists for in favour of Lot 21 DP569741 and this would be maintained. An existing informal arrangement provides access to the rear of Lot 79 DP1137273. This would be formalised on the new title to provide legal access to the rear of this lot.

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# 3. EXISTING TRAFFIC CONDITIONS

# 3.1 Existing road network

## 3.1.1 OSMAN STREET

Osman Street is a sealed, two lane, two-way local road reaching 15 m wide with sealed shoulders on both sides of the road.

The applicable section of Osman Street extends from Adelaide Street in the south through to Railway Lane in the north of Blayney and is aligned in a north – south direction. Speed limits in the area are posted 50km/hour.

**Figure 2** below shows the intersection of Osman Street and Church Street and provides a typical section of Osman Street near the subject site. No parking restrictions apply to this section of Osman Street.



### Figure 2 – Osman Street

## 3.1.2 CHURCH STREET

Church Street is a sealed, two lane, two-way local road reaching 19 m wide with sealed shoulders on both sides of the road.

The applicable section of Church Street extends from Adelaide Street in the east and turns into the Orange Road on the outskirts of Blayney. It is generally aligned in an east- west direction. Speed limits in the area are posted 50km/hour.

**Figure 3** below shows the Church Street at the property entrance and provides a typical section of Church Street near the subject site. No parking restrictions apply to this section of Church Street.

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Figure 3 – Church Street cross section

# 4. EXISTING ROADWAY CAPACITY

The provision of roads within an urban area provides four main functions:

- i. to cater for moving vehicles;
- ii. to cater for parked vehicles;
- iii. to cater for pedestrians and bicycle traffic; and
- iv. to allow for development and to provide access to adjoining property.

In carrying out the above functions, a road must also be capable of handling the traffic demands placed on it. Roads have varying capacities dependent on the function they are performing. The United States Highway Capacity Manual defines capacity as follows:

"Capacity is the maximum number of vehicles which has a reasonable expectation of passing over a given section of a lane or roadway in one direction (or in both directions for a two-lane or three-lane highway) during a given time period under prevailing roadway and traffic conditions."

The physical characteristics of a roadway such as lane width, alignment, frequency of intersections *etc.* make up the prevailing roadway conditions.

Level of Service of a road is a qualitative measure based upon a road's capacity and driver expectations of the operational characteristics of a traffic stream. Level of Service definitions combine such factors as speed, travel time, safety, convenience and traffic interruptions and fall into six levels of service categories ranging from A down to F.

The Austroads "Guide to Traffic Management Part 3: Traffic Studies and Analysis" describes Level of Service A as:

A condition of a free flow in which individual drivers are virtually unaffected by the presence of others in the traffic stream. Freedom to select desired speeds and to manoeuvre within the

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traffic stream is extremely high and the general level of comfort and convenience provided is excellent.

The categories are graduated from Level of Service A down through six levels to Level of Service F that is a zone of forced flow. If the amount of traffic approaching the point under consideration exceeds that which can pass it flow breakdowns occur and queuing and delays result.

The existing connections onto the surrounding road network provide access to and from the development site via a system of roads regulated by efficient traffic controls such as intersection controls.

The site formerly hosted the Blayney Bowling Club, featuring an extensive car parking area and likely to have generated significant traffic during busy periods.

The site currently has approval for the redevelopment of the former bowling club building to accommodate a restaurant and for development of 20 motel rooms on the Osman Street elevation.

The traffic environment in the area around the former bowling club has therefore been historically characterised by vehicles accessing the site from Church Street.

Access is also gained via the subject site to a development of storage buildings (via a right of carriageway – which would be maintained) and also provides informal rear access to Central Tablelands Water's operations fronting Church St. This rear access has been discussed with CTW and will be maintained by the applicant via a right of carriageway.

Church Street is the primary road connection between Blayney and Orange, and is a wide street providing for reverse access angled on-street parking. No parking limits are evident.

To the west of the subject site, also located on Osman Street, is the Blayney High School, and further to the north-west fronting Church Street is Blayney Public School.

Osman Street has no on-street parking restrictions.

Based on the physical configuration of Osman Street and Church Street in the vicinity of the development site, observations of traffic movements and the methodology outlined in the Austroads *"Guide to Traffic Management Part 3: Traffic Studies and Analysis"*, the capacity and Level of Service of the surrounding roads can be determined as Level of Service A with a two way capacity of 1,200 vehicles per hour.

# 4.1 Existing Annual Average Daily Traffic

Annual Average Daily Traffic (AADT) is defined as the total volume of traffic passing a roadside observation point over a period of a year divided by the number of days in the year.

Site specific AADT traffic data was not collected on individual roads surrounding the proposed motel development site for the preparation of this Traffic Study

The closest locatable traffic counter in the urban area of Blayney is located on Adelaide Street, approximately 50 metres south of the intersection with Church Street. AADT from this counter for the period 2009 was approximately 3,250 vehicles in each direction. As Adelaide Street is an arterial road providing linkages from Bathurst in the north towards Carcoar and Cowra in the south-west, it is expected traffic on this road would significantly higher than the smaller urban local roads connecting to it.

It is expected that vehicles arriving to the motel site from the north and south, would have travelled via Adelaide Street and on to Church Street. Vehicles arriving from or travelling to Orange would have travelled from Church Street/Orange Road in the west.

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Traffic travelling to and from the subject site to the Cadia mining operation is expected to travel along Church Street.

Traffic travelling to Flyers Creek wind farm is expected to travel to and from the site via Adelaide Street (south) and Church Streets.

Traffic travelling to the approved Regis McPhillamy Mine is expected to travel to and from the site via Adelaide Street (north) and Church Streets.

Travellers from Sydney and the Blue Mountains are expected to and from the site via Adelaide Street (north) and Church Streets.

Traffic volumes along Church Street are expected to be heavily dominated by traffic accessing the Blayney CBD, traffic travelling to and from Orange, Cadia etc and local traffic.

# 4.2 Former land use

The site formerly hosted the Blayney Bowling Club, consisting of a bowling club building with the following relevant floor areas (based an internal measure and draw by Premise architects, and a review of building plans obtained from Council):

- 150 square metres of pub/bar area upstairs
- 300 square metres of restaurant/eating
- 230.5 square metres of pub/bar area downstairs *TOTAL = 680.5 square metres*

The site also featured three outdoor bowling greens.

The RTA Guide to Traffic Generating Developments notes with respect to licenced clubs that:

The 1978 surveys of clubs found an evening peak period traffic generation of 10 veh/hr/100 m2 licensed floor area, and a total vehicle generation over the 4.00 pm to 1.00 am period of 90 veh/100 m2 licensed floor area.

Given the location of the club in a smaller town, and the commensurate lower levels of patronage, it is reasonable to adopt a figure of 40% of the indicated rate to provide a reasonable determination of traditional levels of traffic generation at the site.

Therefore, based on the size of the club and the adoption of a 60% reduction factor as noted, the former use of the land as a bowling club is expected to have generated the following levels of vehicle generation:

- Evening peak period traffic 680/100 = 6.8 x 10 = 68 x 0.4 = 27.2 (28)
- Total vehicle generation between 4 pm and 1 am = 680/100 = 6.8 x 90 = 612 x 0.4 = 244.8 (245)

As evidenced, traditionally traffic generation associated with the licenced clubs (such as bowling clubs) occurred during the later afternoon, evening and night time period.

# 5. TRAFFIC IMPACT OF THE PROPOSED DEVELOPMENT

# 5.1 Traffic Generation

Traffic generation regarding the proposed motel is based on staff and guests staying at the facility.

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The RTA Guide to Traffic Generating Development predicts traffic generation rates associated with motels at three movements per room per day, with evening peak hour vehicle trips at 0.4 unit.

Therefore, at full operational capacity of 102 rooms, the development is anticipated to generate 306 vehicles per day and 40.8 (41 rounded up) vehicle trips in the peak hour.

The Guide notes that these figures are based on 100% occupation and rates based on 85% occupancy on the peak day of the week may be appropriate. This would reduce generation levels in the peak hour to 35.

It is anticipated that during the first 4-5 years of operation the motel will be heavily patronised by short term construction workers involved with a range of large scale projects in the locality including the Newcrest Cadia mine expansion, the development of the Flyers Creek Wind Farm and the development of the Regis McPhillamy Gold Mine.

During these periods, it is expected that approximately 60% of guests would be associated with commercial clients managing construction and similar projects. These workforces are managed by project recruitment teams and expect to engage workers from out of region areas that cannot be sourced locally. These workers would be expected to work on a 7 day on, 7 day off cycle, or some other even time roster. They will typically arrive by plane to the Orange airport, and then to the motel by bus, or by bus from out of town locations. Individual workers are not expected to typically travel by private light vehicles. This will significantly reduce likely traffic generation rates associated with the motel in the first 4-5 years.

Based on the assumption of 60% construction worker usage, this would reduce traffic generation levels in the peak hour to 14 movements.

After this initial 4-5 year period, rates consistent with the RTA guide predictions are expected.

To be conservative, the higher generation figures and 100% occupancy has been adopted for this assessment to ensure the site is capable of accommodating the development.

Therefore, the PM peak associated with the proposed motel is assumed to be 41 movements.

## 5.2 Traffic Impact

### 5.2.1 PEAK HOUR TRAFFIC

As stated, the PM peak associated with the proposed motel is assumed to be 41 movements.

Also as stated, traditional peak movements associated with the former bowling club use are estimated to be 28 (rounded up) during the evening peak and 245 (rounded up) across the evening period.

There is therefore an increase in movements in the peak hour period from a vehicle approximately (on average) every 2 minutes to a vehicle every 1 minute and 45 seconds.

This remains a very low level of usage and is noted to occur in peak hour periods only. Outside of this time, lower levels of traffic usage are reasonably predicted by comparison to the former bowling club use, with very little activity across the middle of the day.

Staff are expected to arrive outside of peak periods.

The impact of the additional traffic generated by the proposed motel is not significant and the functional classification of the roads will not change.

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## 5.2.2 SITE ACCESS AND EGRESS

Access to the former bowling club is via an existing sealed 60 metre long, 8 metre wide (4.5 metre bitumen sealed) access handle connecting to Church Street. A concrete ramp 8 metres wide provides access across the gutter.

Land uses directly adjacent to this access handle are zoned for commercial purpose, and are occupied by a commercial land use to the west (Central Tablelands Water) and residential to the east.

The driveway sealed width would be upgraded to 6 metres as a component of this application to ensure that two vehicles can safely pass one another.

Once operational, the largest vehicles entering the site would be expected to be a small bus (up to 22 seat) and an 8.8 metre rubbish collection vehicle. The proposed modifications to the access handle will ensure it is capable of accommodating these vehicles.

A give way sign has been erected at the exit to ensure exiting vehicles enter Church Street safely. This would be maintained.

# 6. PARKING REQUIREMENTS

## 6.1 Car parking

Blayney Shire Council's Development Control Plan provides that parking for motels is to be provided on the basis of:

1 space for each unit + 1 space per 2 staff.

If restaurant - Add 1 space per 6.5m2 of GLFA of restaurant.

If function room - Add 1 space per 3 seats.

No restaurant or function room are proposed via this application, therefore parking requirements are on a per unit basis.

Parking on the basis of proposed stages is outlined in Table 1.

Motel Rooms	Parking required	Staff parking - 10 staff (all stages)	Total required	Parking proposed	Deficiency
102	102	5	107	81	-26 (-24%)

Table 1	- Parking	requirements
---------	-----------	--------------

It is further noted that DA 2022/0006 approved the development of a 20 room motel room with 26 car parking spaces. This reduces the deficiency on site to twenty (20) spaces. Given the amount of unrestricted on street parking in the vicinity and the nearby proximity of parking areas, this minor deficiency is not considered unreasonable.

Under DA 99/2022, for change of use of the former bowling club building as a restaurant and other ancillary purposes, no further on site parking was proposed. This deficit was accepted by Council on the basis that:

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TRAFFIC STUDY PROPOSED BLAYNEY MOTEL



- 10 to 20% of restaurant users that aren't also guests of the motel are likely to be residents of Blayney
  and surrounding areas. This, combined with the nature of the use, will encourage future guests to
  carpool (e.g. families), use the local taxi or walk to and from the site. As such, the deficiency in parking
  associated with the restaurant component works subject of this DA modification are unlikely to generate
  significant traffic beyond that which is already contemplated under the various motel approvals.
- It is predicated on the assumption of 100% occupancy at all times, and that all motel users will travel in a single vehicle per motel room, exceeding industry best practise which targets average occupancy of 70-80%.
- At Stage 1, a significant proportion of users will be visiting construction workers who will not travel in their own vehicle, potentially flying into Orange and being transferred to and from work sites by bus (in line with the assumptions outlined in the traffic study that accompanied DA2021/0004).

The minor deficiency reflects that the development can be accommodated within the site without resulting in undue impacts to the local traffic environment.

As outlined in **Section 2.4**, it is proposed and anticipated that the development would, in the first 4-5 years, host short term construction workers visiting the region for short periods of time to work on a range of large scale projects, including the Newcrest Cadia expansion, Flyers Creek Wind Farm and, potentially, the Regis McPhillamy gold mine project.

These workers would fly to Orange and be bussed (by mini-bus) to the site, or would arrive by bus from Sydney or other areas. It is our view that the minor predicted deficiency in parking on site is therefore more than offset by the nature of the occupants, who will not typically rely on light vehicles and therefore do not require the same level of parking provision.

A dedicated parking space for a bus is provided.

Notably, if parking is supplied for the 85<sup>th</sup> percentile level of usage (as recommended by the RTA Guide), at stage 1, 91 parking spaces are required. This reduces any deficiency to just four spaces.

The minor deficiency noted reflects that the development cam be accommodated within the site without resulting in undue impacts to the local traffic environment.

# 7. CONCLUSION

# 7.1 Summary

The development of the Blayney motel represents an excellent opportunity to make effective use of a site that has fallen out of use and, if not brought into use, risks degrading the amenity of the area and leading to increased levels of anti-social behaviour.

The site is well suited to accommodate the proposed motel use in terms of traffic generation, site access and car parking. The minor deficiency in parking (based on 100<sup>th</sup> percentile parking provision) is acceptable in the context of the nature of the method of proposed use during these stages. In the ultimate arrangement, the development is compliant.

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# 8. **REFERENCES**

Table 2 - References

References

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NSW Roads and Traffic Authority. 2002, Guide to Traffic Generating Development.



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1 September, 2023

Kensington Building Group 104 Hill Street, P.O Box 2576 Orange NSW 2800

Attention: Bruce Johnston

Dear Bruce

## RE: Transportable Building Certification - Proposed Development - 62 Osman Street, Blayney NSW 2799

### GENERAL

At your request, we have carried out an inspection and structural analysis of the Ausco transportable buildings at the above address. The purpose of this inspection and analysis was to comment on the structural condition and adequacy of the existing transportable building structures at the site and their compliance with current Australian Standards, particularly AS1170.2 and AS1170.3.

Structural design plans were not provided by Ausco, therefore the size and spacing of structural elements were determined during the site inspection. The structural design of the buildings are assumed to be in accordance with the details shown on the following drawings:

Drawing No.	Description	Produced by	Revision
14830	14.4x3.25m 4 Room Accommodation Unit (Sheet 1 of 4)	Ausco	1
14830-001	14.4x3.25m 4 Room Accommodation Unit (Sheet 2 of 4)	Ausco	1
210531-02-701	Structural Details	Bryan Stewart Baker	А
210531-02-702	Structural Details	Bryan Stewart Baker	A
210531-02-710	Verandah Footing Plan	Bryan Stewart Baker	A

## INSPECTION

An inspection of the subject buildings was carried out on 28<sup>th</sup> of July, 28<sup>th</sup> of August and the 31<sup>st</sup> of August 2023. The tie down of the structure was inspected during the first inspection. The structural elements of the Ausco transportable buildings were inspected during the second and third inspection. Where elements were obscured from view, cladding was removed to inspect and measure roofing elements. It is noted that a rigorous inspection of the walls and any bracing could not be completed.

**Calare Givil Pty Ltd** 

110,000-00

The inspection revealed that the building is constructed from the following elements:

- Rafters are 75x40x0.8 cold formed Cees at 400 centres with an assumed stress grade of 550 MPa;
- Battens are 75x40x0.8 cold formed Cees at 1050 centres with an assumed stress grade of 550 MPa;
- Studs are 75x40x0.8 cold formed Cees at 400 centres with an assumed stress grade of 550 MPa;
- Floor Joists are 75x40x1.2 cold formed Cees at 400 centres with an assumed stress grade of 550 MPa and supporting roof loads. Span is 2m with a 625mm overhang each side;
- Floor bearers are 200UB18.2 at 2m centres with a load width of 1.625m (supporting roof loads)
- Tie down is at 3 points down each side of the building (each end and mid point, inspected 28th of July)
- It is noted that no witness inspections of the footings were conducted by this office prior to the placement of concrete
- Versiclad 65mm SIP spanning 1800mm on the verandah
- Firmlok F15015 verandah beams spanning 3600 supported by a 90x2.0 SHS column.
- Overall building dimensions of 3.25x14.4m

## ANALYSIS

This review has been carried out in accordance with the following SAI Codes of Practice:

- AS/NZS1170.0:2002 Structural Design Actions: General Principles
- AS/NZS1170.1:2002 Structural Design Actions: Permanent, Imposed and Other Actions
- AS/NZS1170.2:2021 Structural Design Actions: Wind Actions
- AS/NZS1170.3:2003 Structural Design Actions: Snow and Ice Actions
- AS1170.4:2007 Structural Design Actions: Earthquake Actions in Australia
- AS4055:2012 Wind Loads for Housing
- AS4600:2018 Cold-formed Steel Structures

The following design criterion has been adopted:

- Structure Importance Level 2 (normal structure) and Class 1B building in accordance with the NCC 2022 Table B1D3a;
- Annual Probability of Exceedance (AEP) as follows in accordance with Table B1D3b of the NCC:
  - Wind loading has been designed for an AEP of 1 in 500 years for Ultimate Limit State Wind and an AEP of 1 in 25 years has been adopted for Wind Serviceability Limit State.
  - Snow has been designed for an AEP of 1 in 150 years for Ultimate Limit State and an AEP of 1 in 25 years has been adopted for Snow Serviceability Limit State.
  - o Earthquake has been designed for an AEP of 1 in 500 years for Ultimate Limit State
- AS/NZS1170.1: Super-imposed dead load to roof G = 0.20 kPa;
- AS/NZS1170.1: Super-imposed live load to roof Q = 0.25 kPa or 1.1 kN for worst effect;
- AS/NZS1170.1: Super-imposed live load to floors = 1.5 kPa or 1.8 kN for worst effect;
- AS4055: Wind region A (non-cyclonic), with a Terrain Category of 3.0 (terrain with numerous closely spaced obstructions) and a Topographic Class of T0 in accordance with AS4055, and a regional wind speed of V<sub>R,500</sub> = 34m/s (Class N1); and
- AS/NZS1170.3: Ground Snow load Sg = 1.32 kPa (Region AC Altitude 872m)
- AS1170.4: Domestic Structure complying with the definitions and limitations outlined in Appendix A of AS1170.4, structure is therefore deemed to comply with the minimum requirements of the standard provided it meets the bracing requirements of AS1684.2, AS4600 and AS4100 (as relevant).

## CERTIFICATION

We certify that we have checked the structural design of the transportable buildings in accordance with the SAI Codes of Practice listed above. The structure is sufficient to support the relevant loads specified in AS/NZS 1170 parts 0-4 (listed above) subject to the structures being constructed as per the details depicted on the relevant drawings listed above.

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It is noted that assumptions have been made in regards to the yield stress of the materials, as no yield stress was branded on the material. The yield stress adopted is consistent with the typical yield stress of small cold-formed steel sections and has been checked in accordance with AS4600 Clause 1.5.1.1(b)(i).

In the absence of destructive testing and removal of all wall linings, the bracing capacity of the internal walls cannot be verified, although it is noted that the spacing is compliant with the requirements of AS1684. The specified wind speed shown on the drawings supplied by Ausco list exceeds the design wind speed at Blayney. Provided that Ausco has adequately designed the structure in accordance with the codes above to brace the structure against the specified wind speed, the structure will be sufficiently braced for wind and earthquake loading in Blayney. We are in receipt of an inspection certificate by Peter Mackay stating the building had been constructed in accordance with the relevant codes and adequate to withstand an N3 wind rating.

Only 2 buildings were inspected for the structural elements, and it has been assumed that these structures are representative of the 23 structures on the site. Provided the 23 structures located in Blayney have the dimensions and structural elements as described above, they are considered to be structurally adequate and fit for purpose. This certification does not apply to any other Ausco structures other than those located at 62 Osman St, Blayney.

This report only assesses the compliance of the structure to the structural specifications outlined in the National Construction Code and compliance to the NCC for access, egress, circulation space, lighting, ventilation, wiring, plumbing and drainage has not been assessed. This document shall not be construed as relieving any other party of their responsibilities, liabilities or contractual obligations.

We trust that this information meets your requirements. Please do not hesitate to contact the undersigned should you require any further information.

Yours faithfully, CALARE CIVIL PTY LTD

Sean Johnson BE MIEAust.

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**Appendix A: Photos** 



Photo 1: Floor joist depth



#### Calare Civil Pty Ltd

ABN 41 050 057 933 170 Rankin Street Bathurst NSW 2795

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 Tet:
 02 6332 3343

 Fax:
 02 6331 8210

 Email:
 bathurst@calare-civil.com.au

 Web:
 www.calare-civil.com.au

Photo 2: Floor joist width

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Photo 3: Typical rafter



Photo 4: Rafter BMT

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Photo 5: Rafter width



Photo 6: Rafter depth

**Appendix B: Supplied Documents** 

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# **CRICHTON ENGINEERING PTY. LTD.**

ABN 87 011 058 170

## CONSULTING CIVIL AND STRUCTURAL ENGINEERS PO BOX 358 PADDINGTON Q4064 – Phone 07 33673570 Fax 07 33673156 Email: admin@crieng.com

## FRAME INSPECTION CERTIFICATE

We, Crichton Engineering P/L, hereby certify that the structural frame for the transportable accommodation building constructed by Ausco Modular for Muswellbrook Stayover

in accordance with the following documents and specification:-

BUILDING	BUILDING TYPE AND	DRAWING NUMBERS
NUMBER	SIZE	
0604870-01	14.4 metres by 3.25 metres	14830-001 sheet 1
	transportable	
	accommodation building	

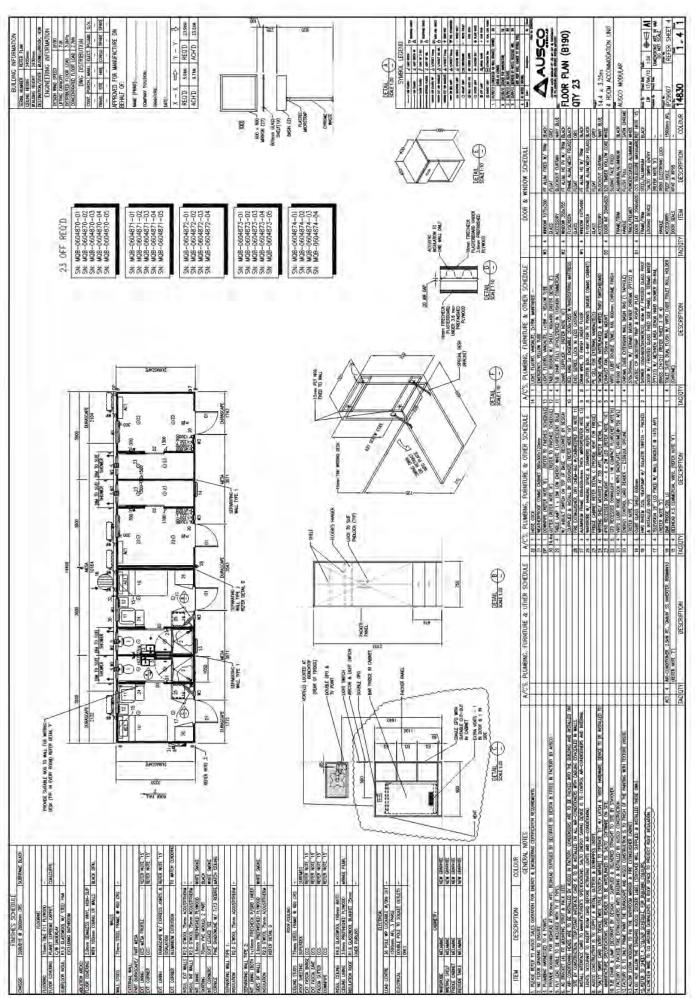
has been inspected by us and the building has been constructed in accordance with the drawings listed above and Ausco Standard Details for Steel Framed Buildings the building is certified to be structurally adequate to withstand the applied loads listed below when maintained in as new structural condition.

Wind loads	for up to W41N (N3) site
Floor Loads	3.0 kPa distributed
	2.7 kN concentrated

This certificate has been issued after consideration of all relevant Australian Standards, publications and codes of practice and testing by Ausco NATA registered test laboratory, Ausco Standards for construction of Steel Framed Transportable Building in particular:- AS 1170 Parts 1 and 2, AS 1720, AS 4100, AS 4600

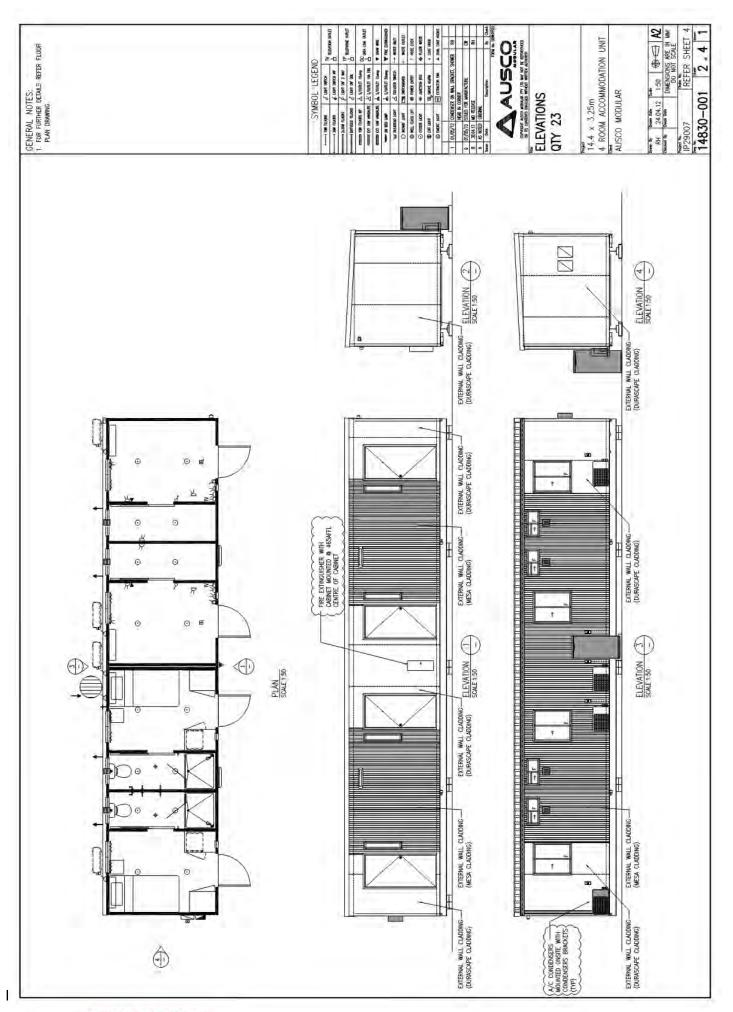
Signed .....

Peter Mackay RPEQ 2460 NPER 3 For and on behalf of Crichton Engineering P/L 25 May 2012



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DIMARD SOUTH



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# BLAYNEY SHIRE COUNCIL BLAYNEY MOTEL STRUCTURAL DETAILS CONSTRUCTION CERTIFICATE





# Prepared for: ROVEST HOLDINGS PTY LTD





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#### GENERAL NOTES

- ALL WORKS SHALL BE CARRIED OUT IN ACCORDANCE WITH THE DEVELOPMENT CONSENT AND BLAYNEY SINRE COLNICL'S ENDINGERING SPECIFICATIONS AND RA SORRECTED Y THEIR REPRESENTATIVE AND MAST INCLUDE AND RASOR AND AUDIT THE REPRESENTATIVE AND MAST INCLUDE AND WORKS AND AUDIT UNIT Y REQUERING TO MAKE THE CONSTRUCTION EFFECTIVE. ALL WORKS AND AUDIT UNIT Y REQUERING TO MAKE THE CONSTRUCTION EFFECTIVE. ALL WORKS AND AUDIT UNIT Y REQUERING TO MAKE THE CONSTRUCTION EFFECTIVE. ALL ONCE AND AUDIT UNIT Y REQUERING TO MAKE THE CONSTRUCTION OF THE CONSTRUCTION OF CONSTRUCTION OF THE REPRESENTATION OF THE OWNER AND AUDIT OF COMPACI-
- THE CONTRACTOR IS TO IDENTIFY LOCATE AND LEVEL ALL EXISTING SERVICES. PRIOR TO THE COMMENCEMENT OF CONSTRUCTION WORKS AND WHERE NECESSARY MAKE ARRANGEMENTS WITH THE RELEVANT AUTHORITY TO RELOCATE DR ADJUST WHERE RECESSARY.
- ALL WORKS SHALL BE UNDERTAREN IN ACCORDANCE WITH THE WORK HEALTH & SAFETY ACT 2017 AND ALL RELEVANT OCCUPATIONAL HEALTH & SAFETY POLICIES AND REQUESTIONS.
- 4. DIMENSIONS SHALL NOT BE SCALED FROM THE PLANS. CLARIFICATION OF IMENSIONS SHALL BE SOUGHT FROM THE SUPERINTENDENT OR REFERRED TO THE DESIGNER
- SURVEY MARKS SHOWN THUS & SHALL SE MAINTAINED AT ALL TIMES WHERE RETENTION IS NOT POSSIBLE THE ENGINEER SHALL BE NOTIFIED AND CONSENT RECEIVED REVOR THEIR REMOVAL
- 6. ALL NEW WORK IS TO MAKE A SMOOTH JUNCTION WITH EXISTING CONDITIONS.
- THE CONTRACTOR IS NOT TO ENTER UPON NOR DO ANY WORK WITHIN OR ON ADJACENT LANDS WITHOUT THE FROM APPROVAL OF THE SUPERINTENDENT AND THE WRITTEN PERINSSION OF THE OWNERS.
- I THE CONTRACTOR SHALL MAINTAIN DUST CONTROL THROUGHOUT THE DURATION OF THE PROJECT.
- FELLED TREES SHALL BE SALVAGED FOR REUSE AS WOODCHIP MULCH OR LOG FORM FOR SITE REHABILITATION, NON-SALVAGEABLE MATERIAL SUCH AS STUMPS AND ROOTS SHALL BE APPROPRIATELY DISPOSED OF OFT SITE 8
- III THE CONTRACTOR SHALL PROVIDE MINIMUM 24 HOURS NOTICE TO CERTIFIERS REPRESENTATIVE FOR ALL INSPECTIONS.
- 11 ALL NATURAL SURFACE DATA HAS BEEN DETERMINED BY TERRAN MODELLING ALL CONSTRUCTION SITE WORKS MUST BE CARRIED OUT USING THE BENCH MARKS SHOWN ON THESE DRAWINGS
- 17 The Reptice AND RECKLARD OF WASTE MARTINES AND THE MARKINGS DURING CONSTRUCTION AND DEMOLITY IN THE SERVAR AND AND RESCULDING OF THE FOLLOWING WASTE MARTINE, IN MASIMITY IN TIMBER IN MELLS (I) OCLAWWASTE IN AND WASTE MARK AND REVEAL DWASTE MARKING AN AMMINIST IN AND WASTE MARK AND REVEAL DWASTE AND THE SERVICE OF A MARKING AND THE AND THE REVEAL MARK AND THE SERVICE AND THE RECENTS VERY WAS RECOVER. MARK DWASTE AND THE REVEAL OF THE OLD MARK AND THE AND THE REVEAL MARK DWASTE. AND FREESANTED TO COMUNIC, OR MOMENTED AND THE MARK AND REVEAL AND THE REVEAL OF A DWASTE AND THE SERVICE AND THE REVEAL AND THE REVEAL OF THE REVEAL OF THE REVEAL OF THE REVEAL AND THE REVEAL OF THE REVEAL OF THE REVEAL OF THE REVEAL AND THE REVEAL OF THE REVEAL OF THE REVEAL OF THE REVEAL AND THE REVEAL OF THE REVEAL OF THE REVEAL OF THE REVEAL AND THE REVEAL OF THE REVEAL OF THE REVEAL OF THE REVEAL AND THE REVEAL OF THE REVEAL OF THE REVEAL OF THE REVEAL AND THE REVEAL OF THE REVEAL OF THE REVEAL OF THE REVEAL OF THE REVEAL AND THE REVEAL OF THE REVEAL OF THE REVEAL OF THE REVEAL OF THE REVEAL AND THE REVEAL OF THE REVEAL OF THE REVEAL OF THE REVEAL OF THE REVEAL AND THE REVEAL OF THE REVEAL OF THE REVEAL OF THE REVEAL OF THE REVEAL AND THE REVEAL OF THE REVEAL OF THE REVEAL OF THE REVEAL OF THE REVEAL AND THE REVEAL OF THE REVE
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- A COPY OF THE DEVELOPMENT CONSENT AND STAMPED PLANS AND TRAFFIC CONTROL PLAN SHALL BE KEPT ON SITE AT ALL TIMES DURING CONSTRUCTION.
- 15. UF, DURING THE COURSE OF ANY WORKS, MY EVIDENCE OF AN ABORIGINAL ARCHARDLOGICAL SITE OR RELICIS FOUND ALL WORKS ON THE SITE ARE TO LEASE MAY THE OBFARMENT OF DEIVINCOMENT AND CLARKE CHANGE AND THE NEW HERITAGE BRANCH ARE TO BE NOTIFIED IMMEDIATELY.
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- ANY NEW INFORMATION, WHICH COMES TO LIGHT DURING CONSTRUCTION WORKS, WHICH HAS THE POTENTIAL TO ALTER PREVIOUS CONCLUSIONS ABOUT SITE CONTAININGTION, SHALL BE IMMEDIATELY NOTFIED TO CONVOL.
- CONSTRUCTION INSPECTIONS ARE REQUIRED FOR THE ENGINEERING WORKS IN ACCORDANCE WITH THE RELEVANT LOCAL COLINCIL WORKS SPECIFICATION.
- 19 SEDMENT MEASURES SHALL HE IMPLEMENTED PRIOR TO SOIL DISTURBANCE IN REEPING WITH THE 4M EDITION OF LANDSGMS "SOLS AND CONSTRUCTION. MANAGING URGAN STORWATER" MARCH 2004 TO THE SATISFACTION OF COUNCIL'S REPRESENTATIVE AND SHOWN IN THESE DAWNINGS
- 20 THE CONTRACTOR SHALL CLEAR AND DISPOSE OF ONLY THOSE TREES THAT ARE COMDENING BY THE PLANE COUNCL'S TREE PRESERVATION ORDER HAAL BE DISERVED AND MO TREE SHALL BE FELLED, LOPPED OR REMOVED WITHOUT HIGH RAPPROVAL OF COUNCIL
- 21. THE CONTRACTOR SHALL CLEAR THE SITE BY REMOVING ALL RUBBISH, FENCES, OUT HOUSES, CAR BODIES, DEBRIS, ETC. THE CONTRACTOR SHALL NOT DISPOSE OF ANY DEBRIS BY BURNING OFF IN AN OPEN FIRE.

#### ROADWORKS NOTES

- THE CONTRADTOR SHALL UNDERTAKE TRAFFIC CONTROL MEASURES TO COUNCIL'S SATISFACTION AND SHALL DIRPLAY ALL APPROPRIATE WARNING SIGNS THROUGHOUT THE DURATION OF CONSTRUCTION.
- J. UNSOUND MATERIALS AS DETERMINED BY THE COUNCIL'S REPRESENTATIVE SHALL BE REMOVED FROM ROADS AND LOTS PRIOR TO FILLING.

#### EARTHWORKS NOTES

- CARE IS TO BE TAKEN SURING THE CONSTRUCTION OF THE PROPOSED WORKS TO EXBURGE INSTRUMA. VECETATION AND TOPOCRAPHY DO THE SUBJECT THE IS NOT UNRECESSARILY DISTURDED ANY CACHATION NATISME, NOT USED IN THE CONSTRUCTION OF THE SUBJECT WORKS IS TO BE REMOVED FROM THE SITE AND WORKEN NO CIRCUMSTANCES IS TO BE DEPOSITED IN BUBILIARD AREAS.
- 2 COLNOL MUST BE NOTIFIED OF ANY DAMAGE TO THE PUBLIC WETASTRUCTURE SUCH AS ROAD PAVAMENT, KERE AND GUTTER, CONCRETE FOOTPATHE DRAMAGE STRUCTURES, UTILITIES AND LANDSCAPING FRONTING THE DEVELOPMENT.
- UNSOLAD MATERIALS AS DETERMINED BY COUNCIL'S REPRESENTATIVE SHALL BE REMOVED FROM ROADS AND LOTS PRIOR TO ANY FILLING A ALL STE RECRADING AREAS SHALL BE GRADED TO THE SATISFACTION OF
- COUNCIL'S REPRESENTATIVE THE CONTRACTOR SHALL TAKE LEVELS ON THE EXISTING SURFACE AFTER STRIPPING TOPSOIL AND PRIOR TO COMMENCING ANY FILL OPERATIONS
- 5. SURPLUS EXCAVATED MATERIAL SHALL BE PLACED OR DISPOSED OF IN ACCORDANCE WITH THE CONTRACT, OR AS DIRECTED BY THE SUPERIMIENDENT
- 4. ALL SITE FULLING SHALL BE PLACED IN LAYERS NOT EXCEEDING COUNCILS AND ALL SITE FILLING SHALL BE FLACED IN LAVERSING EXCEEDING CONCLUS AND GEOTECH REQUIREMENTS. FILLIST OB COMPACTED IN ACCORDINGE WITH GEOTECH SPECIFICATIONS AND BE TESTED AT THE REQUIRED INTERVALS BY AN APPROVED IN A TA, CEOTECHNICAL LARORATORY.
- MINIMUM 150mm THICK TOPSOIL SHALL BE SIREAD ON ALL BERWS, BATTERS AND SITE RECIRADING AREAS EXCESS TOPSOIL SHALL BE DISPOSED OF AS DIRECTED. BY THE SUPERINTENDENT
- 8 ALLIAND DISTURBED BY EARTHWORKS SHALL BE SPRAY GRASSED TURFED OR SMULARY THEATED TO ESTASJUSH GRASS COVER SEED MATURES ARE TO BE APPROVED BY COUNCIL INFO TO SPRAYING AUL GRASSED AND AREA SHULL BE REGULARY WATERED AND MANYTAINED UNTIL EXPIRATION OF THE MAVITEMACE PERIOD.
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#### SERVICE NOTES

- THE CONTRACTOR IS TO DENTRY, LOCATE AND LEVEL ALL EXISTING SERVICES PRIOR TO THE COMMENCEMENT OF CONSTRUCTION WORKS AND WHERE NECESSARY MAKE ARRANGEMENTS WITH THE RELEVANT AUTHORITY TO RELOCATE OR ADJUST
- 8. BARKER RYAN STEWART DOES NOT ACCEPT ANY LIABILITY FOR INACCURACIES IN SERVICE INFORMAT
- CONDUITS SHALL BE LAID AFTER POSITIONS HAVE BEEN DETERMINED BY THE HELEVANT AUTHORITIES AND BEFORE FINAL PAVEMENT IS LAID
- 4. POSITION OF CONDUITS SHALL BE MARKED ON THE KERB.
- THE CONTRACTOR SHALL MANITAIN SERVICES AND ALL WETHER ACCESS AT ALL TIMES TO THE ADJOINING PROPERTIES.
- CARE SHALL BE TAKEN WHEN EXCAVATING NEAR EXISTING SERVICES, NO MICHANICAL EXCAVATION SHALL BE MADE OVER TELETIRA OR ELECTRICAL SERVICES, EXCAVATE BY HAND ONLY IN THESE ARRAS

#### COUNCIL NOTES

- WORKS CARRIED OUT TO BLAYNEY SHIRE COUNCIL FRANDARDS AND BRECHTCATIONS
- STRUCTURAL NOTES
- ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH AS3600.
- CONCRETE DUALITY SHALL BE AS SPECIFIED AND SHALL RE VERIFIED BY TESTS ALL CONCRETE UNLESS OTHERWISE NOTED SHALL HAVE A SLUKE OF ROWE AT POINT OF PLACEMENT, A MAXIMUM AUGREDATE SIZE OF 20mm AND STRENGTH AS SPECIFIED NO WATER SHALL BE ADDED TO THE MAX FROM TO OR OURING THE PLACEMENT.
- 4 ALL REINFORCEMENT SPECIFIED IS GRADE DS00 UNLESS NOTED OTHERWISE.
- REINFORCEMENT IS REPRESENTED DIAGRAMMATICALLY, IT IS NOT NECESSARILY SHOWN IN TRUE PROJECTION
- 5. TOP REINFORCEMENT IS TO BE CONTINUOUS ON SUPPORTS, BOTTOM REINFORCEMENT TO BE LAPPED AT SUPPORTS.
- WELDING OF REINFORCEMENT SHALL NOT BE PERMITTED UNLESS SHOWN ON
- II. PIPES OR CONDUITS SHALL NOT BE PLACED WITHIN THE ZONE OF CONCRETE COVER TO THE REINFORCEMENT WITHOUT THE APPROVAL OF THE ENGINEER.
- 9. ALL REINFORCING BARS AND FABRIC SHALL COMPLY WIT AS/671
- 10 REINFORCEMENT SYNAPOLS: 10.1 N GRADE SON DEFONACE BAR (DSKN) NORMAL DUCTULTY 10.7 R GRADE SON PLAN ROUND FAR (RSSN) NORMAL DUCTULTY 10.3 SL BRADE SON WELDED DEPONNED RIBRED MESH (DISO) RECTANGUAR LOW OUCTULTY

THE NUMBER IMMEDIATELY FOLLOWING THESE SYMBOLS IS THE NUMBER OF MICLIMETERS IN THE BAR DIAMETER.

- EXAMPLE: 8 N12-250, DENOTES 8, GRADE 500N DEPORMED BARS, 12mm DIAMETER AT 250 CTS.
- 11. PABRIC REINFORCEMENT TO BE LAPPED 1 COMPLETE SOUARE 4 25mm UNLESS NOTED OTHERWISE
- 12. ALL REINFORCEMENT SHALL BE FIRMLY SUPPORTED ON HAR CHAIRS SPACED AT A MAXIMUN OF 750mm CENTRES BOTH WAYS UNDER THE ROD AND FABRIC REINFORCEMENT: REINFORCEMENT SHALL BE THED AT ALTERNATIVE INTERSECTIONS

#### GEOTECHNICAL NOTES

SITE OPDTECHNICKL INVESTIGATION HAS BEEN UNDERTAKEN AND REPORTED BY ENVIROMEST CONSULTING PTD LTD. REFER TO LETTER DATED 3 NOVEMBER 2023 (REF L177410) TILED GEOTECHNICAL ASSESSMENT FOR NEW ACCOMMODATION UNITS AT 20 DSMAN STREET BLAVNEY NSW

ALL WORKS SHALL BE UNDERTAKEN IN ACCORDANCE WITH THE RECOMMENDATIONS OF ENVIROWEST CONSULTING LETTER

LEGEND DESCRIPTION EXISTING PROPOSED ROOF DRAMAGE LINE DRAINAGE LINE CONTOUR GRATED SUBEACEINEST PU . . SEALED PIT 00 KERB INLET PIT --PIT LABEL (LINE No) E/1 175 SUBSO 150mm KERB & GUTTER INTEGRAL KERB KERS ONLY FILLISH KERB RETAINING WALL ROAD PAVENENT FOOTPATH TREE TO BE REMOVED 1structure) BATTERS LIMIT OF WORKS PIT WITH OCEANOUARD PIT -INSERT INSTALLED

> EXISTING SERVICES EX FENCE LINE EX COMMS MAIN EX TELEPHONE LINE EX UNDERGROUND OPTICAL FIBRE EX. OVERHEAD ELECTRICITY EX. UNDERGROUND ELECTRICTY EX. GAS MAIN EX. SEWER MAIN EX WATER MAIN

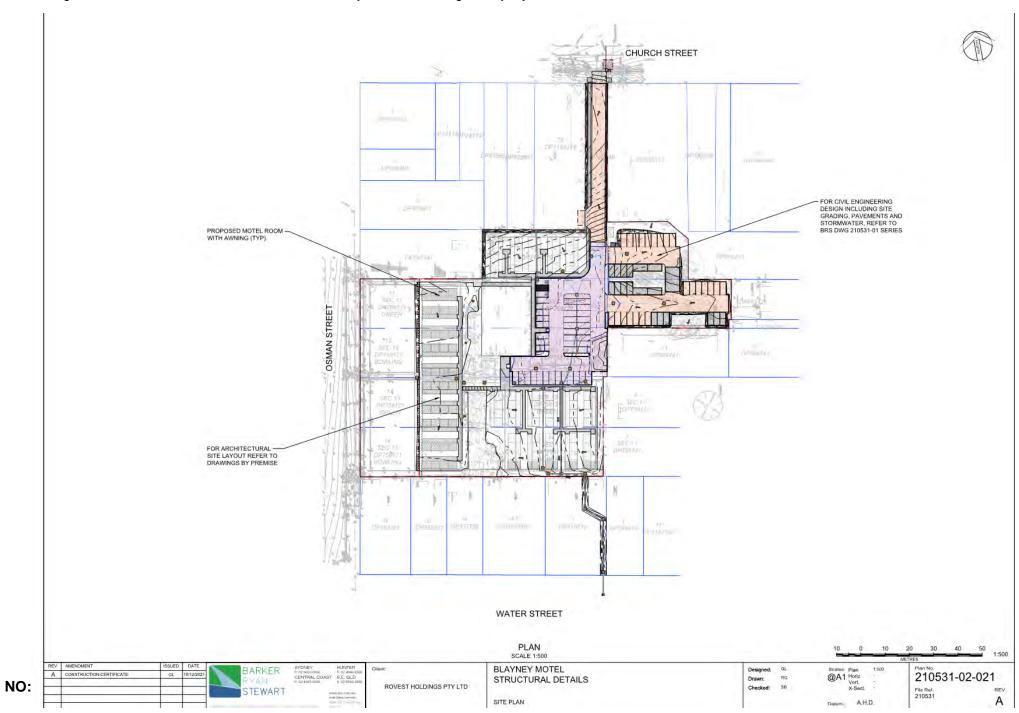
REV AMENDMENT

A CONSTRUCTION CERTIFICATE



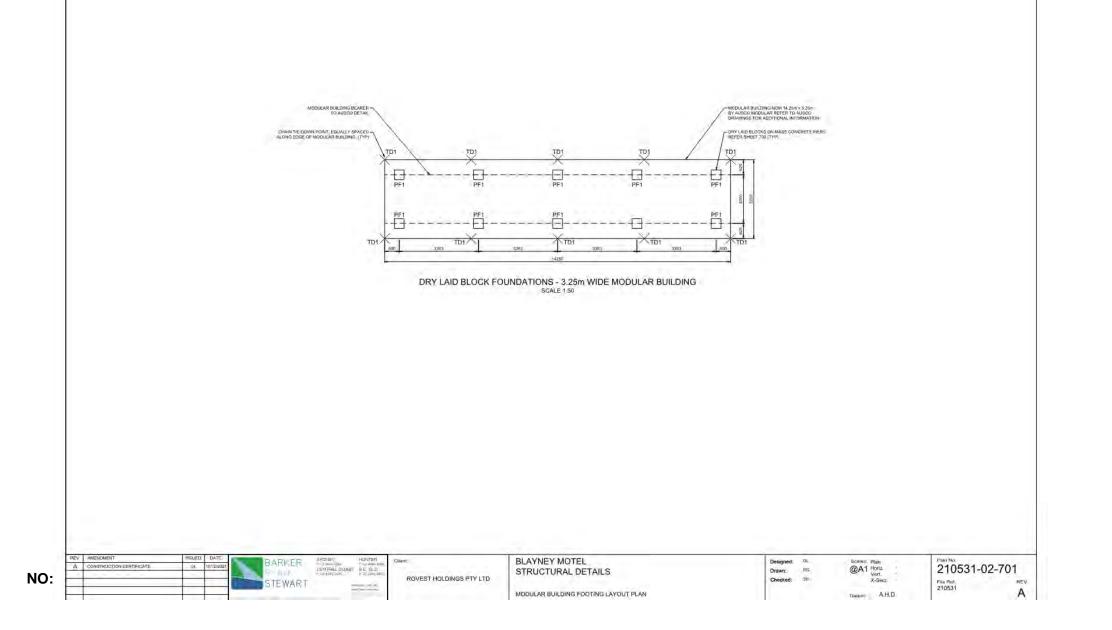




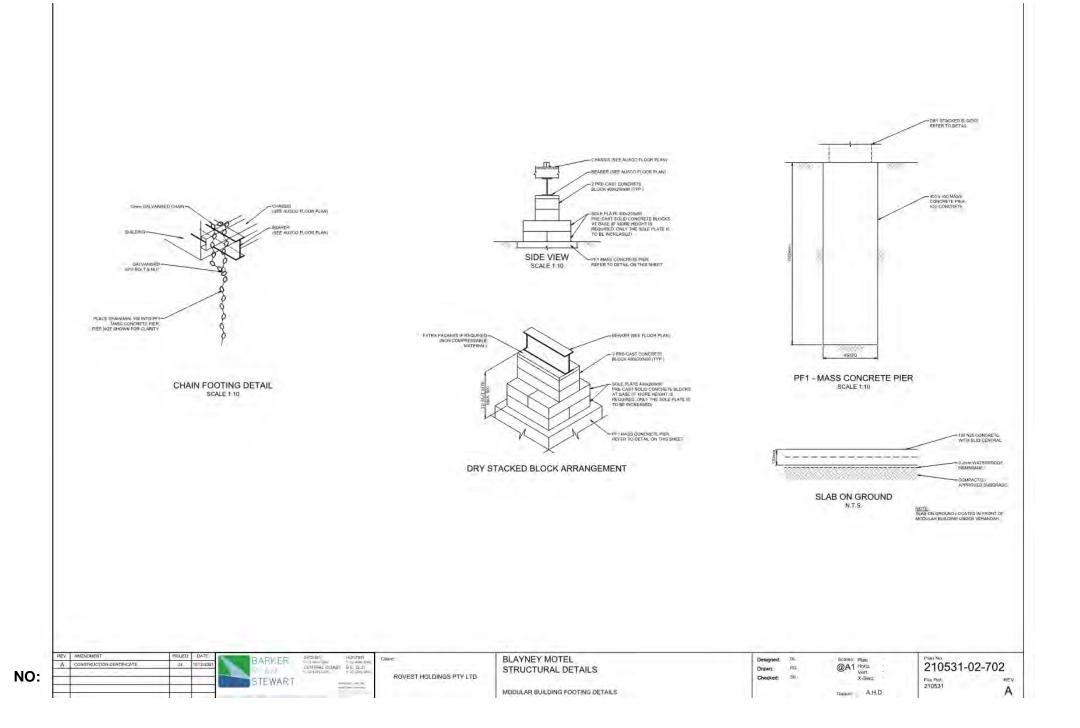


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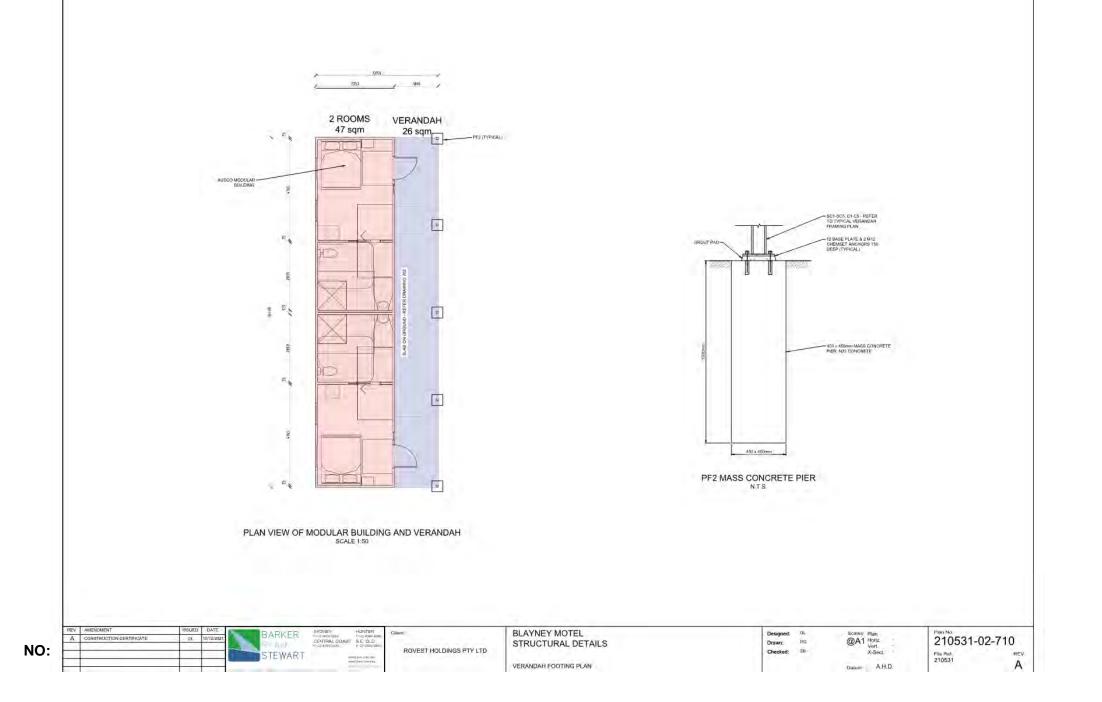




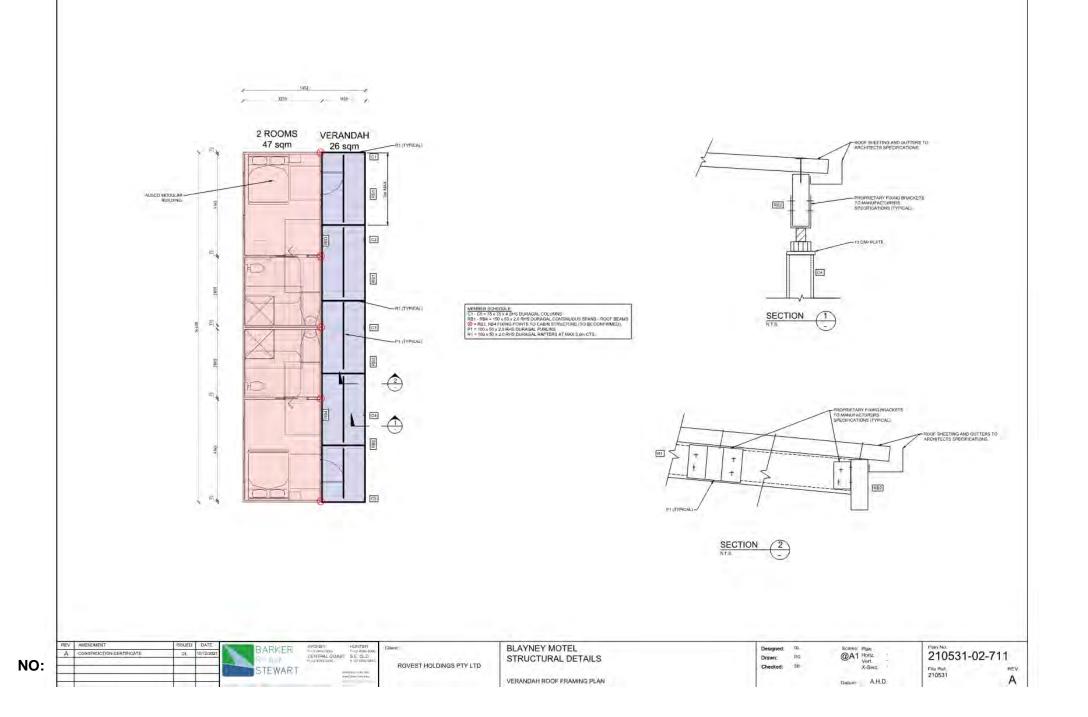
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This is Page No. 515 of the Attachments of the Extraordinary Council Meeting of Blayney Shire Council held on 18 December 2024

Rovest Holdings 195 Kangaroobie Road March, NSW 2800

4 December 2023

Mr Mark Dicker Blayney Shire Council PO Box 62, Blayney, NSW 2799

By email: <u>council@blayney.nsw.gov.au</u>

#### Dear Mr Dicker

Thank you for sharing the submissions received with regards to our Development Application and Building Information Certificate for the proposed Blayney Motel development. We have thoroughly reviewed the submissions received and feel compelled to clarify that the proposal contains both a DA and a BIC application, and as such must be assessed accordingly, which the submissions do not appear to consider. For clarification we will address each point raised in the email and letter submissions (essentially similar content) dated 23 November 2023, and being the only objections, in detail:

#### 1. Compliance with Building Standards

We acknowledge the extensive community support for the proposed development, provided it complies with the Building Code of Australia (BCA). We share this commitment to adhering to all applicable building, environmental and safety standards, as required by the Building Code of Australia, as well as the Performance Solutions and Deemed To Satisfy provisions required to regularise those existing buildings on-site which are the subject of the BIC application. Our DA and BIC Applications are compliant with the BCA.

#### 2. Fire Safety Assessment by Credwell

The concerns raised with the Credwell report regarding fire safety standards, including issues with FRL (Fire Resistance Level), lack of verified fire-rated construction, and insufficient documentation, have been duly noted and particularly taken into account in the Design and Recommendation of each Performance Solution.

The Fire Engineering Report was prepared by Credwell as the existing fire rating of the walls which were shown in the Ausco plans could not be properly verified without damaging the buildings. The Fire Engineering Report and Performance Solutions recommendations have been prepared to offset any gaps or discrepancies in the construction of the fire rated walls, and are in accordance with the Building Code of Australia. The Fire Engineering Report including the evacuation times, are based on well-established fire engineering principles, and designed in a conservative manner taking into account they are existing structures.

Fire and Rescue NSW were consulted as part of preparing the Fire Engineering Report and were satisfied with the Design, which verifies that the buildings are satisfactory to be approved for Class 3 use from a fire safety perspective.

#### 3. BCA Compliance Report by Credwell

The comments regarding lack of relevant information for BCA compliance and issues with fire-rated bounding walls were taken into serious consideration. These have already been duly addressed and resolved with the proposed Performance Solutions.

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Regarding the submission about fire hazard properties - this is a term that relates to wall, floor and ceiling linings e.g. carpet, tiles, wall paper. Credwell state that "the majority of carpets pass these requirements" however there was no documentation to prove this due to the age of the building. They further affirm that "It is typical practice for Accredited Building Surveyors to apply professional judgement that the carpets will not cause a significant impact on the spread of fire and smoke". Credwell have determined that the application of the recommended Performance Solutions adequately addresses any existing fire hazard properties to satisfy both the BCA and the BIC application for those buildings.

#### 4. Transporting Building Certification

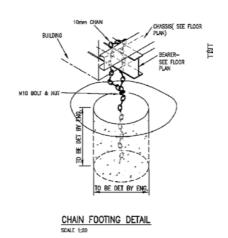
The submissions dated 23 November 2023 contain comments on transporting building certification and reference Calare Civil reports specifically, from whom we have requested their response. They advise that the first point regarding comments on page 1 of the letter is inaccurate. Calare Civil also confirm:

"there is a certificate from the engineer (attached) who inspected the structure certifying it is adequate. The units are now in a region with a lower wind speed than specified on the drawings. The drawing mentions the brace forces and the loads achieved are much higher than the loads required (new loads in red). All the report states is that "a rigorous inspection of the walls and bracing could not be completed". It doesn't state that the building is inadequate, and given that an engineer has signed off on the construction, and our calculations show that the diaphragm effect of the wall sheeting as bracing essentially achieve the required capacity, any additional bracing would be in excess of the requirements. The report concludes that the building is structurally adequate to resist the loads"



Calare Civil also state the second point is factually incorrect, and that there is no mention of a requirement for turnbuckles in the BCA. The buildings have been assessed to be structurally sound. Not only is the weight of the building adequate to prevent any risk of "rocking and collapsing", but also there is no reference to turnbuckles on either the Ausco drawing set or the Barker Ryan Stewarts drawing set detail as provided below.

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### 5. Section J Report

The concerns raised regarding the Occupational Density have been duly noted, however the Section J report very specifically addresses and resolves the stringent environmental standards required in Australia. The Section J Report uses complex modelling (to an industry standard) to prescribe the amount of renewable energy that must be able to be generated on site and available for use by the development. That modelling has taken into account the existing structures on site, and with the proposed energy efficient solutions, the development is compliant to Section J of the Building Code of Australia, and approval should be granted accordingly.

The submissions received appear to confuse the occupational density calculations cited in table D2D 18. These are referenced within the report 'for information only' to illustrate how the modelling for energy efficiency is calculated. The areas quoted in reference D2D 18 do not prescribe a minimum space per person/occupant and accordingly this comment is also inaccurate.

#### 6. External Peer Review and Community Notification

We understand the importance of transparency and accuracy in the development process. As such our application references expert Third Party Reports prepared by nationally licensed and accredited specialists, which substantiate that our Application is sound and should be assessed accordingly.

Finally, we have confirmed that the required notice and exhibition period (minimum 14 days), as prescribed by Blayney Shire Council Development Control Plan and last modified 11 October 2023, has been met through this Application process.

In summary, we trust we have adequately addressed the concerns raised and look forward to our application being progressed with expedient diligence.

Yours sincerely,

Brendan Rouse Director